

Brunswick Street Oval Precinct

Needs Analysis and Concept Plan

Edinburgh Gardens, Brunswick Street, North Fitzroy
VIC 3068



July 2019

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Prepared for

CITY OF YaRRA

PROJECT NAME	BRUNSWICK STREET OVAL PRECINCT		
File name	Needs Analysis and Concept Plan	Project number	7965

Date Issued	Status	Revision	Checked
12/07/2019	Preliminary	-	AMT
17/07/2019	Complete draft	A	AMT
24/07/2019	Final	B	AMT
24/07/2019	Final	C	AMT

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Table of contents

1.0	Introduction	1
1.1	Project Aim and Objectives	1
1.2	Site	2
1.3	Statutory Controls	8
2.0	State Government Policy and Initiatives	10
2.1	Change our Game	10
3.0	Peak Body Infrastructure Guidelines	11
4.0	The Yarra Community	12
5.0	Yarra Council Strategies and Policies	13
5.1	Strategic Objectives	13
5.2	Council policies	13
6.0	Site Analysis – opportunities and constraints	14
7.0	Stakeholder and community consultation	16
7.1	Process and methodology	16
7.2	Key findings	17
7.3	Identified needs	28
8.0	Functional Brief	28
8.1	Site Master Plan and Functional Relationships	28
8.2	General Design Considerations	29
8.3	User Requirements	34
8.4	Spatial Brief	37
8.5	Life cycle costs	45
8.6	Safety in design	45
9.0	Concept Design	45
9.1	Design approach	45
9.2	Landscape	50
9.3	Construction phase operations	51
APPENDIX A	ARCHITECTURAL DRAWINGS	A1
APPENDIX B	STAKEHOLDER CONSULTATION FRAMEWORK	B1
APPENDIX C	EDINBURGH GARDENS TENNIS COURTS AUDIT & LIGHT LEVEL REPORTS	C1
APPENDIX D	HAZARDOUS MATERIALS REPORTS	D1

1.0 Introduction

This report has been prepared for the City of Yarra as the first stage in the Brunswick Street Oval Precinct facilities redevelopment.

In 2018 the Edinburgh Gardens Sporting Community (EGSC) formed as a coalition of the sporting clubs located at the precinct including:

- Edinburgh Cricket Club
- Fitzroy Football Club
- Fitzroy Junior Football Club
- Fitzroy Tennis Club

The EGSC identified two key issues within the precinct:

- The high demand on the facilities that are shared between many community groups, the broader community and different sports restricting the ability of the clubs to foster and grow community participation;
- The outdated facilities stifle the precincts potential to be a leading and sustainable example of community sport in Victoria.

Through the advocacy efforts of the EGSC in late 2018 the State Government announced an election commitment that on re-election \$6.5M would be committed to the development of infrastructure in the precinct.

Commencement of the design and construction of the \$6.5m pavilion will proceed post the completion of this project and upon a signed agreement with the State Government.

1.1 Project Aim and Objectives

The intent of this study and report is to establish a contemporary shared community and sporting facility that meet the needs of a fast-growing sporting and local community with the aim to:

- a) Fully understand the current and future sport and community needs of users and residents for services and programs that can be provided from the Brunswick Street Oval Precinct facilities; and
- b) To provide a clear direction on the best and most feasible model of developing and maintaining appropriate sport and community facilities to meet those identified needs.

The project objectives are to:

- Provide a detailed needs analysis for the provision of facilities in the Brunswick Street Oval Precinct
- Provide considered facility expansion/upgrade options and costings for the precinct that address the findings and opportunities identified in the detailed needs analysis;
- Meet the access, environmental and social requirements of a contemporary local government sport and community facility.

1.1.1 Reference Documents

In the process of developing this report we have referenced the following documents:

- Edinburgh Gardens Sporting Community Feasibility Study (EGSC, 2018)
- Edinburgh Gardens, Brunswick Street North Fitzroy Conservation Management Plan (Allom Lovell & Associates with John Patrick Pty Ltd, 2004)
- Edinburgh Gardens North Fitzroy Landscape Master Plan (John Patrick Pty Ltd, 2003)
- City of Yarra Policy and Strategy documents as referenced in section 1.3

1.2 Site

The Brunswick Street Oval Precinct site is in the south-west quadrant of the Edinburgh Gardens in North Fitzroy. It is bounded by the W T Peterson Community Oval and associated mounded terraces to the south and west and garden paths to the east and north. The existing buildings and infrastructure comprise:

- Grandstand (1888)
- Community Hall (c1980s)
- Tennis Pavilion and Change Rooms (c1901 and 1960s)
- 6 courts (En-Tout-Cas and Synthetic Clay)
- Water tank
- Bocce Court
- Rubbish bin collection enclosure
- Hardstand driveway to north of Grandstand and DDA carparking

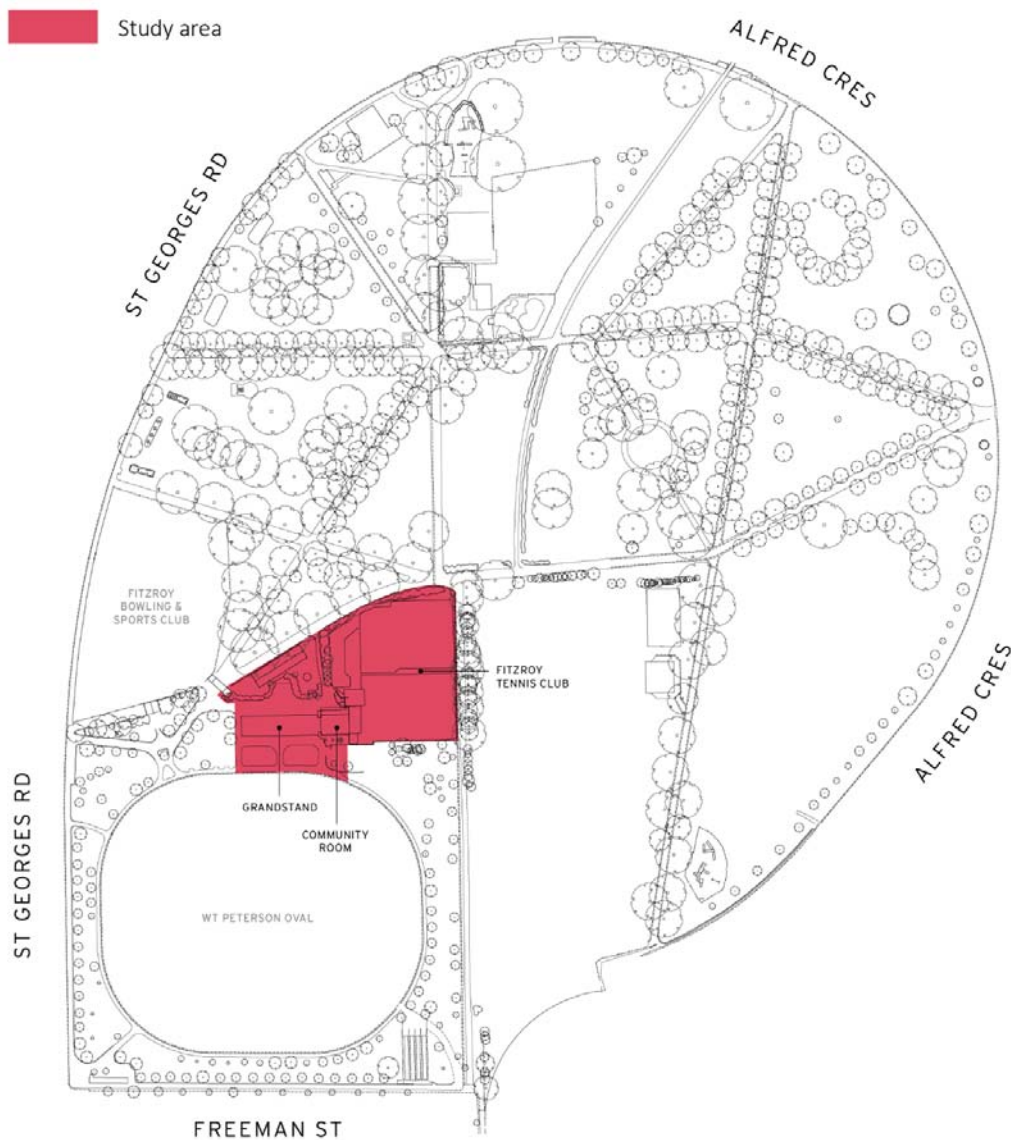


Figure 1 Location Plan



Figure 2 Brunswick Street Oval Precinct site area.

Source: Nearmap

The closest major street is Brunswick Street to the west. A vehicular crossover immediately to the south of the Fitzroy Bowling Club provides access for emergency vehicles, rubbish collection and cars. This access point is a shared pedestrian and bicycle path for the gardens. General pedestrian and bicycle access to the site is via the internal path network to the gardens.

1.2.1 Grandstand

The Grandstand was constructed in 1888 to the design of Nathaniel Billing. From the available contract drawings and a Jubilee History of the Cricket Club published in the 1910s, it is apparent that the building was progressively added to and altered from the basic stand that was originally constructed. From early plans and aerial photographs of the site it is apparent the north side of the Grandstand was utilised as a back-of-house area for support buildings, delivery and access with the primary address and presentation being the façade fronting the Oval.

After the Fitzroy Football Club vacated the ground in 1966 the grounds and building were little used. In the early 1980s the grandstand was restored as part of the redevelopment of the oval facilities for community use, with further works undertaken in 1991-2, 2007 and more recently to add solar panels to the roof, a DDA compliant public toilet, refurbish the toilet amenities for the community room and increase the available storage for community groups. Changes to the original fabric and configuration include removal of the sloped mound to the apron in front of the stand, construction of new steel staircases to the tiered seating and changes to the internal fit out of the undercroft.

The progressive phases of change and refurbishment to the undercroft has resulted in the plan layout and location of original external openings being substantially altered. The tiered timber seating was reinstated in the 1990s, with substantial replacement of the fabric at that time. Opportunistic vandalism and graffiti have been a recurring issue and the Grandstand is regularly occupied by rough-sleepers due to the shelter and relative security it offers. As a consequence, a regular regime of high-pressure water cleaning of the upper level of the Grandstand has been implemented which is having a progressively detrimental impact on the fabric.



Figure 3 View of the Grandstand from the west.



Figure 4 View of the Grandstand from the oval.

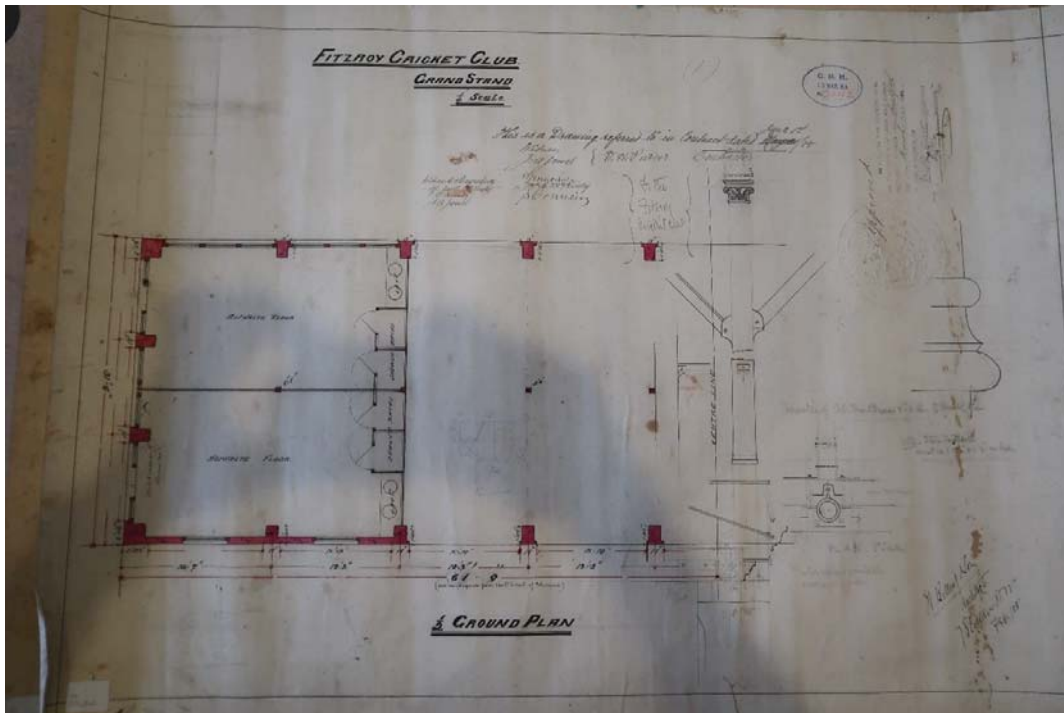


Figure 5 Contract drawing of Grandstand prepared by Nathaniel Billings, ½ Ground Plan, dated 1888. It is noted the undercroft is shown as relatively open with the change rooms located at the west end.
Source: State Library of Victoria



Figure 6 Aerial view of the Brunswick Street Oval showing the 1888 Grandstand and Tennis pavilion in the 1940s. Note the Tennis Pavilion is located further south and the area to the north of the Grandstand is populated with a Gym, yard, fences, residence and other structures.
Source: State Library of Victoria



Figure 7 Community room viewed from the south (oval) side.



Figure 8 Community room viewed from the north (garden) side.

1.2.2 Community Room

The single storey Community Room was added as an extension to the east end of the Grandstand in the 1980s as part of an upgrade of oval facilities undertaken by the City of Fitzroy. The brick wall with a stepped parapet at the east end of the building was originally a hit-up wall for the tennis club which was incorporated into the design. The kitchen and toilet facilities to support the community room are in the Grandstand undercroft. Improvements have included the installation of air-conditioning and additional storage to improve the amenity for community groups.

1.2.3 Tennis pavilion and change rooms

The current tennis pavilion and change rooms are an amalgam of an early timber pavilion (pre-1901) relocated to its current location, and a 1950s toilet block with alterations and additions dating from the 1980s. These are the latest in a series of structures that have served the tennis club since its establishment in 1888 on this site. The club room facilities are dated, do not provide sufficient amenity to meet the current membership size, coaching and competition program, and lack compliant DDA access or amenity.

The six existing courts were refurbished and upgraded in 2007, 3 En-Tout-Cas courts and 3 Synthetic Clay

A report prepared by Landscape & Irrigation Services (May 2019) has established the following condition of the courts and equipment:

Court layout

The existing court layout, particularly runoffs and separation between all courts do not meet the minimum requirements for Club/Recreation level tennis with discrepancies typically up to 0.5m or greater.

Lighting

The existing lighting to the southern courts is nearing the end of their service lifespan of 25 years. The lighting to the northern courts is relatively new (less than 10 years old). All light towers are located within the runoff zones of all courts and require padding for player protection. This is a significant OHS issue.

A light level assessment was undertaken by Endure Light (June 2019). Assessed against the minimum standards for Club Competition outlined in AS 2560.2.1: 2003 four of the six courts meet the minimum illuminance requirements, but none meet the uniformity standards.

It is recommended the lighting be renewed with LED fittings and the light poles are relocated to a position outside the playing surface.

Court surfaces

The enclosure 1 (southern courts) En-Tout-Cas courts are in good condition with good coverage, and surfaces are level.

The enclosure 2 (northern courts) synthetic clay courts are in fair condition only, showing evidence of mildew/mould and the surface needs rejuvenation and maintenance. These courts are approaching the lower end of their expected lifespan.

Court accessibility

Court accessibility was assessed in accordance with the requirements of AS 1428.1: 2009. The central fenced passageway meets the minimum width requirements but fails to be an unobstructed width and access to enclosure 1 (southern courts) is hindered by a 150mm step down to the courts.

Ancillary items

The perimeter court fencing is relatively new and in good condition. Line marking, nets and net posts are in good condition and fit for purpose. Hose bibs, drinking fountains and sprinklers in the vicinity of the net posts is a hazard to players and should be located outside the court runoff zone or below ground.



Figure 9 Tennis Club room and amenities, viewed from within the courts.

1.3 Statutory Controls

1.3.1 Heritage Victoria

The Fitzroy Cricket Club Grandstand is included in Victorian Heritage Register (VHR) designated as H0751 (Figure 2). The extent of registration is restricted to the building itself and the land on which it sits; this is an artefact of the registration's origins in the superseded Register of Historic Buildings, and a modern registration would be expected to include some form of additional curtilage area external to the structure.

1.3.2 City of Yarra Planning Scheme

The Edinburgh Gardens is included to the City of Yarra Planning Scheme's Schedule to the Heritage Overlay (HO) as HO213. As such the property is subject to Clause 43.01 'Heritage Overlay' and to Clause 22.02 'Development guidelines for sites subject to the heritage overlay'. The comments provided below have had regard for the relevant sections of these policies.

1.3.3 Conservation Management Plan

A Conservation Management Plan (CMP) was prepared in 2004 by Allom Lovell & Associates (now Lovell Chen) with John Patrick Pty Ltd. It is evident from an initial review of changes which have occurred in the subsequent 15 years that major works have generally been undertaken in accordance with the CMP.

While the CMP's analysis of the heritage significance and specific conservation policies for elements of the Edinburgh Gardens will largely hold true to the present day, other aspects of the plan have dated and would benefit from reconsideration. Although the plan provides general conservation policies to guide contemplated intensification and change, it is likely that these could be expanded to better reflect today's heritage best practices and also provide for current and prospective usage of the Gardens. In particular, the CMP does not sufficiently address active recreation as both a current functional requirement and an important aspect of the heritage values of Edinburgh Gardens.

It would also be desirable to update the CMP's statement of significance and assessment against criteria to reflect the current assessment criteria and practice employed in the City of Yarra and in Victoria.

In terms of best conservation practice, a CMP would ideally be reviewed on a five-yearly time frame or as required at the point of major change or development.



Source: VicPlan

2.0 State Government Policy and Initiatives

At the State level the priorities and strategies for the sport and recreation sector are captured by *Active Victoria – a strategic framework for sport and recreation in Victoria 2017-2021*.

This document establishes sport and recreation as an integral part of Victoria's social and economic life and outlines six strategic directions with targeted areas of change to achieve improvements in this sector.

This project has the scope and capacity to meet the intent of the following strategies.

Strategic Direction 1: Meeting demand

- Increasing capacity of facilities and infrastructure
 - New and existing infrastructure that 'works harder for longer'
 - Designing infrastructure in accordance with universal design principles and to be resilient to future risks
- Increased participation opportunities
 - Actions to support increased capacity of sporting clubs and recreation providers
- Flexible and innovative options
 - Modified versions of sports that better meet the needs of potential participants
 - More teams and competitions aimed at retaining players who enjoy playing sport but are not playing at the highest level within their club or age group

Strategic Direction 2: Broader and more inclusive participation

- Operational structure of sport and active recreation
 - Adoption of universal design in both infrastructure and program delivery to increase the proportion of Victorians able to use programs and infrastructure
- Increasing the participation of women in sport
 - Female-friendly sport and active infrastructure and facilities

Strategic Direction 3: Additional focus on active recreation

- Planning for active recreation infrastructure connected to other community uses and urban development
- Maximising the potential of existing spaces to be used for active recreation

Strategic Direction 6: Work together for shared outcomes

- Joint action and investment by sport and recreation organisations, councils and the Victorian Government.

2.1 Change our Game

Increasing female participation in sport is a key component of the *Active Victoria* framework. This strategic direction builds on the findings from the independent Inquiry into Women and Girls in Sport and Active Recreation held in 2015. A key recommendation to facilitate change was the need to deliver female-friendly built environments and equitable facility usage policies.

This has been embraced by all peak sports bodies and facility managers and is a key driver of the need to upgrade the facilities in the Brunswick Street Oval Precinct.

Cricket Victoria's assessment of venues in 2018 established that only 19% of venues across Victoria provide female friendly change room facilities and supporting amenities.¹

¹ Victorian Cricket Infrastructure Strategy March 2018, p 23.

3.0 Peak Body Infrastructure Guidelines

In approaching the brief for the community and sporting facilities consideration has been given to amenity standards established by the peak sporting bodies represented by the clubs associated with this precinct. The following strategic planning documents have been consulted.

- AFL Preferred Facility Guidelines for State, Regional and Local facilities (AFL, 2012)
- AFL Preferred Facility Guidelines for Local, Regional and State League Facilities Amenities Upgrade for Unisex Use Addendum (AFL, 2015)
- Community Cricket Facility Guidelines (Cricket Australia, 2015)
- Victorian Cricket Infrastructure Strategy 2018-2028
- Tennis Infrastructure Planning – Planning, Design & Delivery Resource (Tennis Australia, 2018)

The following table provides a comparison of the facility requirements from the guidelines for each sport when compared with the existing provisions. In many areas, as highlighted, the existing provisions do not meet the current code. It is noted that while there are additional change rooms provided, the lack of a completely independent social room for sporting club use, results in these spaces being utilised for this purpose.

Table 1 Comparison of existing facility against

Space	AFL (area m ²)	Cricket (area m ²)	Tennis (area m ²)	Existing (area m ²)
Central entry point			15	0
Social Room/Community	100	150		133
Multi-purpose meeting			15	34.2
Tennis club room			120	34
Timekeeping	10			0
Office/Administration	15	15	25-50	0
Kitchen and Kiosk	20	25		18
Kitchen store		8		8.4
First Aid	15	10		0
Umpire room	25	15		15.5
Utility	5	5		2.75
Tennis change and toilets			50-55	38
Change room 1	45-55	30		20
Amenity Room 1	25	25		15.5
Change room 2	45-55	30		20
Amenity Room 2	25	25		15.5
Change room 3				20
Amenity Room 3				0
Change room 4				20
Amenity Room 4				0
Disability Change/Shower/Toilet				8.6
Public Toilets	25			
Male		15		9
Female		15		7.5
Accessible Toilets		5.5		4.8
Unisex external public toilets				9

Space	AFL (area m ²)	Cricket (area m ²)	Tennis (area m ²)	Existing (area m ²)
Storage (Internal)	20	30	15	11
Storage (External)		30	12	20
Curator Store		60		0
External covered viewing area	50			
Verandah and spectator seating			100-120	
Social/BBQ area (outdoors)				
Rubbish Storage area				
Circulation	excl	excl	excl	excl
* 15m ² per club				
Total	425 - 445	493.5	177	464.75

4.0 The Yarra Community

Based on the Census of Population and Housing (Census) undertaken by the Australian Bureau of Statistics 2016 the City of Yarra community profile is described as follows:

- Yarra community has a unique demographic makeup, with many people living at the lowest end of the socio-economic scale and many at the highest.
- Population is relatively young, with half aged between 25 and 49 years and an average age of 33 years.
- Nearly one fifth of the community were born in non-English speaking countries and just under a quarter speak a language other than English at home. Top languages spoken at home, other than English, are Vietnamese, Greek and Mandarin.
- Yarra has fewer families and more group houses than greater Melbourne, and one third of all residents live alone.
- Nearly a third of the community is aged between 25 and 36.
- The population of 96,368 is expected to increase by 42% to 136,965 by 2033.
- Around 10% of the community live in public housing.
- 37% of the community live in apartments, 22% in terraces, semi-detached or town houses.
- About one in five households do not own a car.

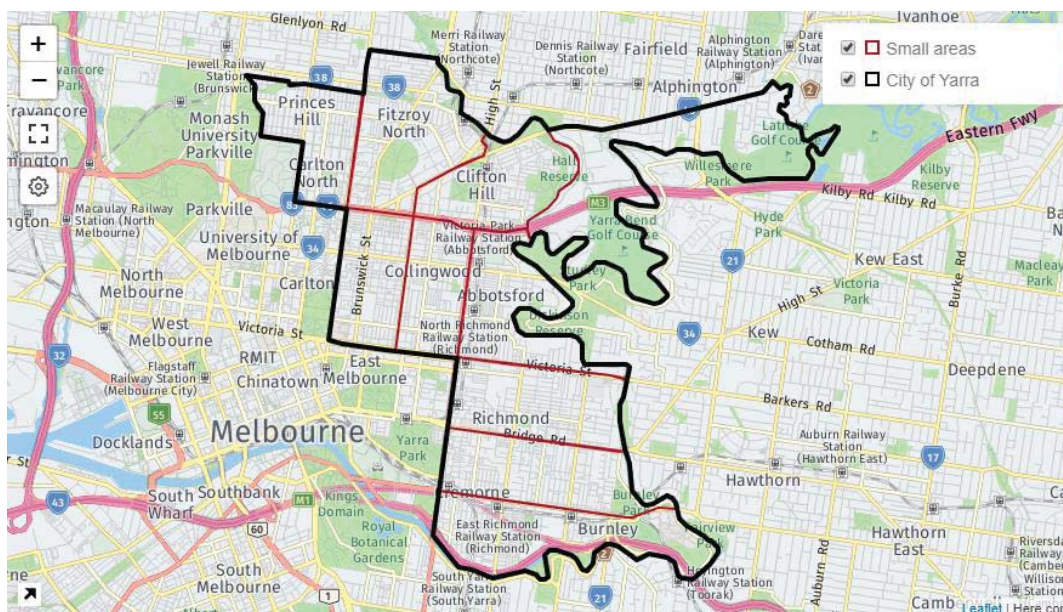


Figure 11 City of Yarra community profile, Australian Bureau of Statistics Census 2016

Source: <https://profile.id.com.au/yarra>

5.0 Yarra Council Strategies and Policies

5.1 Strategic Objectives

The Council Plan 2017-21 sets out Council's strategic objectives and associated strategies to achieve them. From these objectives flow the various policies and strategies that direct how individual initiatives and projects can contribute to achieving the overarching strategic direction.

The strategic objectives are for Yarra to be **healthy, inclusive, sustainable, liveable, prosperous, connected** and **leading**.

A key inclusion of the 2017-21 plan is a health and wellbeing plan which positions Council to play a key role in contributing to positive health and wellbeing outcomes for the community. A key priority is active living.

This project directly contributes to maintaining and improving facilities that provide a broad range of recreational, community and sporting activities to the Yarra community. The age range of current participants in activities based in the precinct is broad, ranging from children to senior citizens.

5.2 Council policies

A number of Council policies and strategies are applicable to any redevelopment or improvement of the precinct facilities. These include:

- Yarra Family, Youth & Children's Services 0-25 Years plan 2018-2022
- Yarra Sport and Physical Activity Strategy 2015-2019
- Aboriginal Partnerships Plan 2015-2018 (2019-2022 pending Council adoption in October 2019)
- Asset – Asset Management Strategy 2012-2022
- Bike Strategy 2016 Refresh

- Council Plan 2017-2021
- Environmentally Sustainable Design (ESD) Buildings Policy 2014
- Multicultural Partnerships plan 2015-2018 (2019-2022 pending Council adoption in July 2019)
- Active Healthy & Ageing Strategy 2019-2022
- Public Art Policy 2015-2020
- Public Toilet Strategy 2017-2027
- Urban Design Strategy 2011
- Urban Forest Strategy 2017
- Waste Minimisation and Resource Recovery 2018-2022

As relevant these have been taken into consideration when developing the functional brief.

6.0 Site Analysis – opportunities and constraints

An overarching consideration for the precinct and the site is the heritage significance of the Edinburgh Gardens and the Grandstand and the need for any works to be sensitive to the retention of heritage significance. Further to that there are urban design and landscape considerations that also inform the design.

An analysis of the site reveals the following opportunities and constraints.

Orientation

- Site is oriented with good access to north light, opportunity to orientate new buildings to capture north light and passive solar
- Prevailing winds from south-west during winter could be masked by existing Grandstand
- Prevailing winds from north-west during summer will be moderated by the garden landscape

Views and vistas

- Grandstand has commanding views of the oval; these should remain uninterrupted
- The mounds around the perimeter of the oval modulate the long views of the Grandstand from the Gardens. These are an important landscape element to be retained.
- The Grandstand and Community Room block the connection with the garden to the north, there is no obvious visual connection to the oval when approaching from the north
- Opportunity to establish a visual connection from existing paths, past the Grandstand
- Opportunity to reorientate the community space to engage with the gardens, creating an external activated space

Landscape

- Avenue plantings are largely deciduous, creating a changing colour spectacle through the seasons and creating a wind/weather break and shading.
- Connection to the lawns and pathways is important
- Landscape in the immediate vicinity of the Grandstand and Community Room is utilitarian and low amenity
- Opportunity to reclaim landscape and elevate to similar level to other activated landscape areas of the Edinburgh Garden

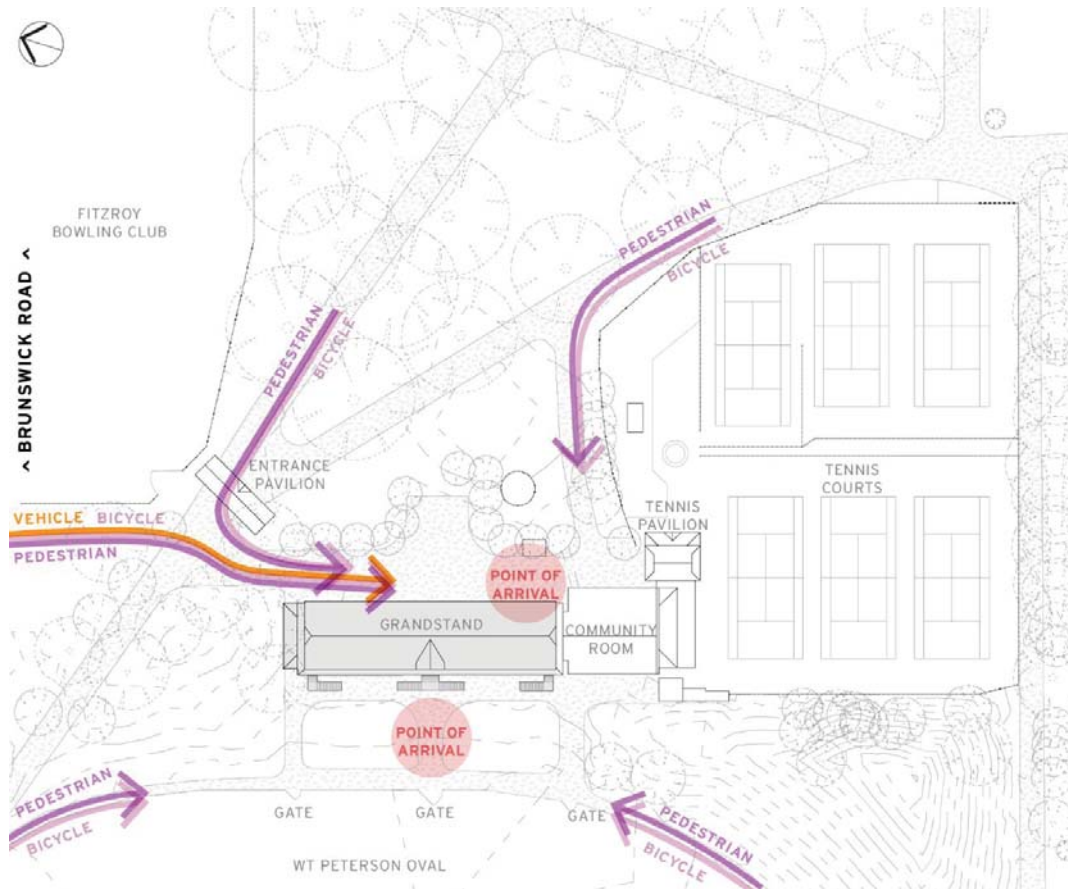


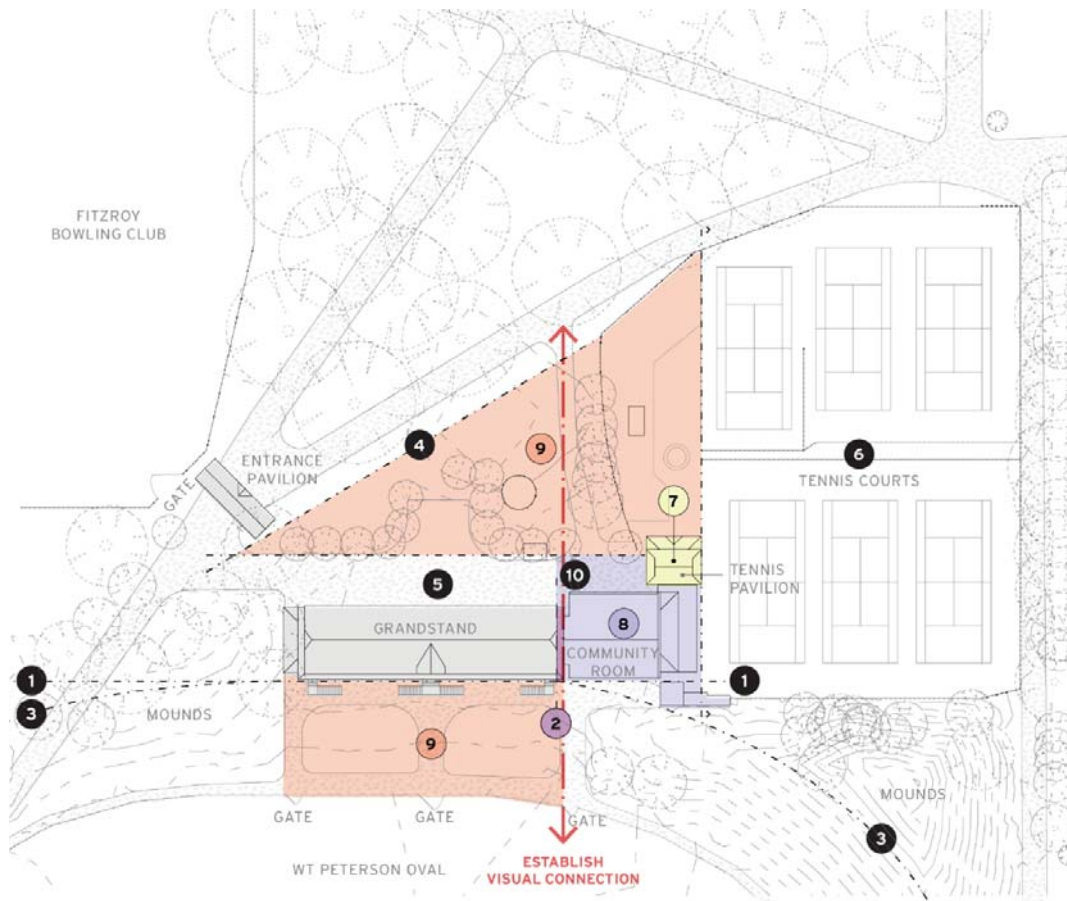
Figure 12 Arrival paths to the Precinct

Arrival

- Site has no obvious address, two points of arrival depending on the activity to be engaged in
- Apron to north of Grandstand is a conflicting melange of cars, bin store and roadway with no obvious 'front door'
- Lack of passive security and surveillance
- Opportunity to include passive surveillance of the point of arrival by reorienting activities to focus on both sides of the precinct

Built forms

- Grandstand is the predominant built form, Community room detracts from, rather than contributes to the Grandstand
- Tennis Pavilion has limited presence due to location, landscape screening and relationship to the Community Room
- Opportunity to formalise the presence of the Grandstand to the oval frontage, while adapting the 'back' of the building to engage with the garden
- Opportunity to construct within disturbed areas of the site



Key Opportunities and constraints



- | | |
|-----------------------------------------------------------------------------------|-----------------------------------------|
| 1 New built form to not extend past Grandstand | 6 No build on tennis courts |
| 2 Separate/ reveal Grandstand | 7 Retain, relocate, integrate |
| 3 Retain negative formed by mounds | 8 Build on disturbed land |
| 4 Retain avenue planting | 9 Low amenity landscape |
| 5 Apron for arrival, deliveries, waste, etc. conflict of vehicles and pedestrians | 10 Arrival point: no obvious front door |

Figure 13 Opportunities and constraints

7.0 Stakeholder and community consultation

7.1 Process and methodology

The consultation was undertaken in accordance with the Yarra City Council (YCC) communication policy and framework.

An *Engagement and Communications Plan* was prepared by the YCC Communications team and included the following process:

- Minimum 4-week public consultation period utilising the “Your Say Yarra” online engagement tool
- Onsite engagement activity (drop in session) Monday 13 May 2019
- Post card drop to 1500 local North Fitzroy residents delivered 3 May 2019
- News item on YCC website

- Yarra Life EDM (e-newsletter to 13,000 subscribers) on 6 May and 20 May
- Social media promotion (YCC corporate Facebook and Twitter) on 5 May and 19 May
- Notification to Councillors via Councillor E-Bulletin

The public consultation period ran from 31 April to 31 May 2019. The response to the online engagement comprised:

- **99 Engaged** in the project online (provided survey responses - see individual responses in spreadsheet)
- **179 Informed** about the project (people who clicked on something on the page)
- **540 Aware** about the project (people who saw the page)

In addition, face-to-face meetings were held with the following stakeholder groups:

- EGSC Clubs
 - Edinburgh Cricket Club
 - Fitzroy Football Club
 - Fitzroy Junior Football Club
 - Fitzroy Tennis Club
- City of Yarra officers across the following portfolios:
 - Recreation and Leisure
 - Age & Disability
 - Venues & Events
 - Family, Youth and Children's Services
 - Building and Asset Management
 - Streetscapes and Natural Values
 - Housing and Homelessness
 - Construction & Development
- North Fitzroy Bowling Club
- Italian Fitzroy Senior Citizens

The consultation framework and list of attendees is included in Appendix A.

7.2 Key findings

7.2.1 City of Yarra

The key findings from consultation with the City of Yarra officers was a general agreement that the amenity of the precinct could be significantly improved to support a popular but poorly resourced corner of the Edinburgh Gardens. All participants in the consultation acknowledged there were ongoing issues around fit-for-purpose sports and community facilities, public security and the relationship of this precinct with the gardens and oval.

The specific issues raised under individual portfolios that have informed the functional brief and concept design are as follows.

Infrastructure

- M41 water main runs through centre of the Edinburgh Gardens and is located underground in the area to the east of the tennis courts.
- Major gas supply main also runs in this area.
- YCC in association with Melbourne Water are undertaking further development of the Edinburgh Gardens Stormwater Harvesting Scheme including construction of a new 1ML underground storage to increase the security (reliability) of supply.
- Construction of significant infrastructure or buildings in this area should be avoided.

Recreation and Leisure

- Introduction of turf wicket to W T Petersen Oval requires permanent, secure and accessible curator storage for the ground maintenance equipment including roller, pitch covers, temporary fencing etc.
- Curator store size is 20m².

Landscape

- YCC has a replacement strategy for avenue plantings scheduled to commence in winter 2020 which will be staged over next 50 years to achieve diversification of the tree age groups and types. Useful life expectancy of Dutch Elms which is the predominant species currently begins to diminish at 80 years, the existing avenue plantings have reached this age.
- Avenue to the east of the tennis courts will be replanted initially, with trees moved 3m to the east.
- Consideration should be given to vehicle movement through the precinct as related to existing trees and construction impacts during building works.

Housing and homelessness

- Rough sleeping in Grandstand is increasing with up to 10 people at any one time.
- 2 cleans a week using high pressure water is impacting the building fabric.
- Increase in anti-social behaviour and assault related to the casual occupancy of the Grandstand.

Community planning, Positive Aging, Venues and Events

- Community room is highly valued and extremely well patronised with 328 separate bookings in 2018. Second busiest facility in municipality.
- Three most popular uses in 2018 were: meetings; family gatherings; Council programming
- Highest demand was for Wednesday, Friday and Saturday/Sunday; evenings
- Council anticipates future demand for the space will remain high due to its location and relative lack of restrictions which facilities located within residential streets incur.
- Council sees the space as being intergenerational: attractive to older and younger age groups
- Key requirements are:
 - Accessible
 - Capacity for 100 people +
 - Commercial kitchen facilities
 - Good acoustics
 - Aspect/connection to garden
 - Comfortable and flexible furniture
 - Heating/cooling
 - Hirer to have controlled access
 - AV equipment (sound system, screen and projector, augmented hearing, connection to Council network)
 - Effective security including path to the venue and key code access
 - Charging station for wheelchair
 - Storage, discrete and lockable for regular users
- Need for separate and externally accessible public toilets
- Concern there is an unresolved conflict of pedestrian and vehicular traffic when community room is in use

Security

- Increasing number of assaults reported in the vicinity of this precinct
- Lack of lighting and good passive surveillance

7.2.2 *Edinburgh Cricket Club*

The earliest sporting association with the Edinburgh Gardens was cricket, brought about by the permissive occupancy provided by the Lands Department to the Collingwood Commercial Cricket Club of 9 acres (3.6 hectares) of the reserve in September 1862, and in the following year a further 6 acres (2.4 hectares) to The Prince of Wales Cricket Club. These clubs amalgamated in 1872 into the Fitzroy Cricket Club. The Fitzroy Cricket Club continued to play at the Brunswick Street Oval until 1985-86 when it amalgamated with the Doncaster Cricket Club and as a result moved to Schramm's Reserve, Doncaster.

Established in 1978, the Edinburgh Cricket Club's original home ground was the Alfred Crescent Oval, a ground with a pavilion but no pitch. In 1985 the club moved to the Brunswick Street Oval and is now one of the largest clubs in Victoria with 40 junior sides in 2018/19 ranging from U10 to U18 including 4 junior girl's teams, 8 senior men's, 1 senior women's and 2 Veterans teams. The club is zoned in the Inner South East Metro Region, which incorporates Yarra, Stonnington and Monash City Councils. The Edinburgh Cricket Club is an anchor club for the north-eastern end of the region.

Based on the Cricket Australia hierarchy model the club sits between the Premier/Regional and Club (Home) level.

This region is one of only four across the State to record participation increases in all player categories over the past 3 seasons, and while it has a higher than average ground to player ratio of 1:46, the overall condition rating of pavilion social spaces and player amenities is below the Metropolitan average.

The Club runs a junior and senior training and competition throughout the cricket season (October to March), with training sessions and/or games sessions at the ground Monday to Friday 4:00pm to 8:30pm, Saturday 8:00am to 6:30pm and Sunday 12:00 midday to 6:30pm. Access to the Grandstand for use of the change rooms extends to 10:00pm or 12:00 midnight on those days. Currently use of the Community Room requires pre-booking through the Council booking system and results in relatively poor access as the Club is competing with all other hirers of the space, with the warmer months being a particularly popular period for weddings, parties and Christmas events. To mitigate this lack of access the Club currently uses two change rooms to establish a temporary club room. Memorabilia is displayed in this space including honour boards and trophies to engender a club atmosphere and club pride.

The Club hosts events every 4-6 weeks during the cricket season attracting crowds of 80+, with a large school holidays program in October and again in January. Weekly activities include selection meals and other activities aligned to the training and game schedule. With better facilities the opportunities for club events and gatherings would be increased.

The Club has ambitions to expand their inclusion programmes for disadvantaged and all abilities participants, which would be enabled and enhanced by improved facilities.

PREMIER/REGIONAL	Integrates the community cricket pathway and provides connection between Foundation and Talent pathways. Facilities service home clubs, as well as providing for the broader cricket catchment.	Home and away fixtures for Premier Cricket in each state, regional training venue for pathway squads and programs, event/carnival venue for state and regional programs and marquee venue for local competitions (e.g. finals).	Shared training venue for local community (outdoor turf pitches and possible indoor training pitches), under age Association competition venue and location for school holiday camps. Likely to be shared with a winter tenant.
CLUB (HOME)	Provide a mix of recreational and competitive cricket opportunities within a community club environment for local communities – clubs and venues connect with their associated turf or synthetic competition and pathway structure (for all age groups).	A club's home ground to conduct home and away fixtures for local, Association, metropolitan and country cricket in each state, local club training, facilitating school to club connectivity and providing opportunities for in2CRICKET and modified programs such as T20Blast.	Training facilities and social amenities are provided to promote social activity and community use. Shared venue with a winter tenant. Under age Association competition venue or finals venue at key sites within local Associations.

Figure 14 Cricket Australia facilities hierarchy model applicable to Edinburgh Cricket Club for purpose, use and compatible uses
Source: Community Cricket Facility Guidelines, Cricket Australia p 15.







Strategic responses	Critical	High	Medium	Low	Stakeholders
Support land owners/managers to manage the carrying capacity of existing playing fields with high use through education and resourcing.					CV
Increase the provision of unisex change room areas, supporting amenities and more inclusive social spaces.					CV, LGA, CC
Assess the suitability and current balance of synthetic and turf cricket pitches in-line with future demand, competition structure and financial capacity of tenant club/facility owners and in consultation with key stakeholders.					CV, LGA, CC
Utilise facility and participation data to develop prioritised pavilion upgrade and renewal plans.					CV, LGA, CC
Utilise facility and participation data to develop prioritised upgrade and renewal plans for synthetic practice facilities.					CV, LGA, CC
Ensure reserve master planning considers creative ways to increase the size of boundaries where possible (e.g. relocation of cricket nets if enclosed) or look to minimise safety and risk management issues of balls being hit beyond the boundary (e.g. high fencing).					LGA

Figure 15 Cricket Victoria Infrastructure Strategy for South East Metro Region
Source: Victorian Cricket Infrastructure Strategy 2018-2028

The Cricket Victoria Infrastructure Strategy for the South East Metro region has identified the improvement of off-field facilities, and inclusion of unisex facilities as a high priority.

Issues

The specific issues raised by the Club that need to be addressed are:

- Access to a permanent club room during cricket season – ability to have a presence, improve club ambiance and pride – display club memorabilia
- Ability to host club wide events during cricket season at their home ground
- Enhanced ability to facilitate cricket training, camps, all abilities programs
- Improved offering of food at canteen
- Permanent storage on site for equipment, merchandise that is secure, accessible and meets OHS standards
- Comfortable place for watching cricket between grandstand and oval – fragmentation of spectators is a problem

- Better access from Edinburgh Gardens to the oval
- Ability to have sponsors signage displayed
- Street address for deliveries – name the driveway
- Additional public toilets

7.2.3 *Fitzroy Football Club*

Established in 1883 the Fitzroy Football Club has a long and proud association with this ground and community. The Club fields teams in the largest community football competition in Australia, the Victorian Amateur Football Association (VAFA), with the Brunswick Street Oval operating as the Club's home ground. FFC first fielded a women's team in 2015. The Club operations at the ground follow the football season, April – October.

In 2019 the Club has seven teams comprising:

- Senior Men's (2 teams)
- Senior Women's (2 teams)
- Fitzroy Thirds (1 team)
- Fitzroy Under 19s (1 team)
- Fitzroy Under 23s (1 team)

Based on the AFL *Growing the Heartland AFL Victoria Football Facilities Development Strategy 2014-2020*, the Club's facility hierarchy level is 'Local'. The core uses of a facility at this level are for home and away matches and club training and to operate as the 'home' of the Club.

The issues confronted by the Club at the Brunswick Street Oval mirror the findings of this strategic planning study carried out by the AFL which identified a general lack of female friendly player change facilities and change rooms/facilities that are not fit for purpose. Currently no women's games are scheduled at this ground due to the lack of facilities to host a triple-header.

The Club runs training sessions at the club Tuesday and Thursday evenings (6:00 – 8:00pm) which includes use of the community room for player meals and selection meetings between 5:30 and 10:30pm. On Saturdays for home ground matches the Community Room and Grandstand facilities are in use from 9:00am – 11:00pm. The Club must book the Community Room in advance through the Council booking system, which means it is not always available, and requires the Club to install and remove Club associated decorations and equipment on each occasion.

Events hosted at the ground include pre-game lunches for home games, post-match functions, recovery sessions on Sundays, Trivia nights, team meetings, end of season events and other fundraising activities throughout the season.

Equipment storage is poor within the Grandstand and has been spread to other locations around the ground including the ticket box on Brunswick Street. Merchandise storage is limited and is largely held off-site. The lack of a permanent social room for the Club limits the opportunity to display Club memorabilia such as honour boards which engender Club pride and community.

EXISTING FOOTBALL FACILITY PROVISION

Our survey of every LGA and community football league in Victoria, combined with our facilities audit data, provides key information regarding existing football facility provision and informs future needs and requirements for football. A summary of the key facilities information is outlined below.

IN 2013 MORE THAN 1,050 FOOTBALL GROUNDS WERE USED FOR COMPETITION.

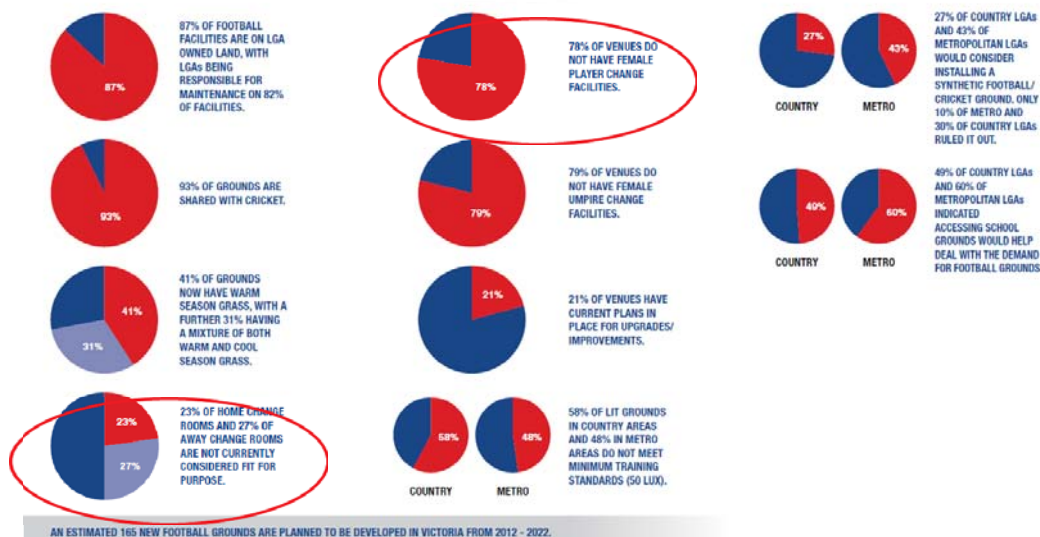


Figure 16 Summary of the state-wide facilities assessment, highlighting the need for improved facilities

Source: Growing the Heartland AFL Victoria Football Facilities Development Strategy 2014-2020

Issues

The specific issues raised by the Club that need to be addressed are:

- Female friendly facilities for players
- Dedicated social club space that can cater for training nights, player selection, player meals, events
- Appropriate bar facility to enable service of alcohol when required – Club maintains Level 3 Good Sports accreditation
- AV equipped meeting or social room to facilitate game review and presentation evenings
- Ability to have a 'home' where the Club can permanently display memorabilia
- Spaces available to support recovery activities
- Improved changerooms to enable Club to host triple headers (male and female teams on same day)
- Better, permanent and accessible storage space for equipment, merchandise
- Safe - secure location for valuables storage on game day
- First Aid room
- Carparking for drop-off and pick-up of equipment

7.2.4 Fitzroy Junior Football Club

The Fitzroy Junior Football Club (FJFC) was established in 1993. Fielding teams in the Yarra Junior Football League it is the largest club in the largest junior league in Australia. Based on the AFL *Growing the Heartland AFL Victoria Football Facilities Development Strategy 2014-2020*, the Club's facility hierarchy level is 'Local'. The core uses of a facility at this level are for home and away matches and club training and to operate as the 'home' of the Club.

The Club has boy's and girl's teams in every junior age group from U9, U10, U11, U12, U13, U14, U15, Colts, Youth Girls. Considered a destination club, the membership has grown each year over the past

five, with the girl's competition numbers locked out each year in January due to demand and capped numbers at most year levels. The Club fielded 31 teams in 2018.

The Club operations at the ground follow the football season, April – October and are 100% volunteer run. Training occurs every night of the week from 4:30 – 6:00pm with games on Sundays. The entry level Auskick program operates on Saturday mornings.

FJFC have no access to the Community Room and all training and game day team equipment is stored in the Brunswick Street Ticket Box or off-site. The Club holds Club functions off-site due to the lack of access to a social room. Desirably their Marquee Games (e.g. Anzac Round, Girl's Round, Indigenous Round) would include a function at the ground pre or post-match and other annual events such as Welcome Day and Presentation Day held at the Club.

FJFC would like to be able to host league finals at the Brunswick Street Oval.

Issues

The specific issues raised by the Club that need to be addressed are:

- Need to create a 'home' for the Club
- Ability to interchange matches with boys/girls by having appropriate facilities
- Need to be able to shower girls and boys after games
- Aspire to be able to host league finals
- Meeting room for club management
- Better, permanent and accessible storage space for equipment, merchandise
- Club room and facility to cater for marquee games, Presentation Day, Welcome Day, dinners
- AV equipped room for presentations, training
- Ability to display Club history

7.2.5 Fitzroy Tennis Club

The Fitzroy Tennis Club has been associated with the Edinburgh Gardens since its establishment in 1888. Existing membership sits at 436 members with a 60:40 male to female ratio. Tennis is an all ages sport and the membership demographic for 2018/19 is:

- Adults: 187
- Older adults: 69
- Families (with 1 or 2 children): 92
- Juniors: 51
- Coaching staff: 9
- Honorary Life membership: 19
- Deferrals: 9

While FTC Rules and Constitution state that membership be capped at 500 members, the Club is struggling to service their current membership due to the number of courts they have available. Demand for courts at peak times is at a premium due to:

- Courts used for coaching (up to 4 courts)
- Competition (2-3 courts)
- Introduction of book-a-court system (this has increased the patronage)

The Club operates 7 days week. The current competition program comprises a Night Competition (Tues/Wed/Thurs), Victorian Pennant Competition (Weekend), Metro Masters (Thursday afternoons), Juniors (Saturday mornings).

The Racquet Lab Coaching is run by 11 coaches: 8 male, 3 female and provides classes to 308 students across various class configurations. There is consistently a waiting list for coaching, with up to 60 during summer, less through winter. The Club also holds school holiday clinics, comprising five 4-day clinics per year for 30 children and 8 adults.

Tennis in Victoria continues to grow. In 2017/18 Tennis Victoria recorded a total of 332,931 registered participants, a 23% increase on the previous year.

The City of Yarra has 1531 registered tennis players. 835 (54.5%) of these are registered participants at Clifton Hill Tennis Club/Mayors Park Tennis Centre and Fitzroy Tennis Club. The remaining 696 (45.5%) leave the City of Yarra to play tennis at other affiliated tennis venues around Melbourne and Victoria.

The ideal provision ratio for tennis courts per head of population sits at 1 court: 2,000 head of population. To adequately cater for tennis in Yarra, there should be 47 tennis courts. The current 18 tennis courts are well below this number with court per head of population sitting at 1:5,222, almost double the recommended provision. The impact being, 46% of residents participating in tennis actually leave the municipality to do so.

The Club has the ability through its coaching personnel to offer a broader all abilities programme, which is only limited by the lack of DDA access to the courts and Club rooms and amenities. The Club and coaches place a strong focus on participation versus high performance.

Issues

The identified issues and priorities for the FTC are:

- 2 extra courts (En-Tout-Cas) to cater for increased demand
- Rebuilding of synthetic courts due to their rapid deterioration and poor drainage
- Relaying of existing En-Tout-Cas courts
- New lighting to courts
- Larger club house
- Better and compliant change rooms and toilets
- More external storage space for maintenance and coaching equipment
- Administration space for coaching and tournament operations
- Improved outdoor BBQ area, but retaining the social space and garden atmosphere
- Improved safety on approaches and paths to and from the Club enclosure through the gardens

7.2.6 Community response

The community consultation initiated a conversation with the broader Edinburgh Gardens and North Fitzroy community to establish what aspects of the precinct they liked and what aspects they felt needed to be improved. One aspect of the consultation was to garner more feedback on the Community Room and how this space was perceived.

The largest group of respondents to the 'Your Say Yarra' online engagement tool identified themselves as living nearby or interested in the Edinburgh Gardens. 70% of respondents stated they had used the Community Room.

What is liked about the Brunswick Street Oval Sporting and Community facilities?

From the 99 written submissions by far and away the most often repeated response was an appreciation and desire to retain the gardens history and heritage of the Grandstand and ground.

Comments included:

Its beautiful heritage and lovely leafy surroundings.

Open space of the oval. Heritage grandstand and local history. Presence of a community room for multiple types of functions. Tennis Club.

I like the variety of sports the facilities cover and how they are conveniently located in close proximity to each other. Also that the heritage structures are nicely tied in with the gardens and the general lay out, rather than a generic box dumped in a ill-considered location.

*I love the history and character of the place.
 I love taking my son to watch the local football or cricket there and knowing that
 it's where people like Neil Harvey or Kevin Murray played.
 I love sitting in the grandstand and looking at the skyline of Fitzroy and Melbourne.
 I love the way that the grandstand, community rooms and tennis club anchor this
 end of Edinburgh gardens and the community life that centres around them.
 I love the changing of the seasons on the trees around the ground.
 I love that my father came to watch VFL games here in the 50s and 60s.
 I love being able to come here with my wife and child to kick a footy on the oval.
 I'm glad that homeless people can get some shelter from the rain and cold up the
 back of the grandstand if they need to - they're part of the community too
 (although I don't particularly love seeing needles and rubbish up there).
 I love seeing the Fitzroy colours on the people on the hill on Saturday arvo.
 I enjoy knowing that if I or my wife ever felt the need to play tennis, we could go
 and join the club. Hasn't happened yet, but you never know.
 I treasure the memories of doing slow laps of the oval when my wife was very
 pregnant, and stopping to rest on the grandstand steps.
 I feel privileged to have had access to community and council consultation in the
 rooms there - democracy happens at a local level.
 I never get tired of seeing the old grandstand, the oval, the trees and all the rest of
 this place every day as I go about my life. It's a special place.*

*The ground is a beauty - it supports an incredible volume of sport with the largest
 junior football club in Australia fielding a huge number of boys and girls teams, the
 Cricket club is also massive. This is a real credit to the local community and
 volunteers that have driven this growth and utilise the facilities so well. I like the
 community feel - people walking dogs, the nearby Edinburgh gardens, on a lovely
 day it is splendid. Games/Sport taking place with families enjoying a picnic nearby -
 awesome. I have spent hundreds, if not thousands of hours, enjoying the ground
 and facilities over the past 15 - 20 years.*

*A excellent facility for the community to socialise & participate in sporting for all
 ages and sexes. Important to have a hub that can be used by a wide section of the
 community.*

The following summarises the general tenor of the responses:

- History of the gardens, Grandstand and ground
- Heritage architecture
- Visual aesthetic of the Grandstand and Oval
- Links with Fitzroy Football Club
- Variety of sports the facilities cover
- Leafy surroundings, trees, setting
- Views to the city
- Community vibe and feel
- Accessibility (kicking the footy, walking the dog, teaching kids to ride their bikes)
- Location
- Strong sense of community
- Low cost place for community groups to hire
- Collegiate nature of the sporting clubs

How can the facilities be improved?

A far more diverse response was received on what could be improved, with a small minority calling for no change or money to be spent on other more disadvantaged areas of the municipality. The key issues identified were improved facilities generally, more public toilets, and improved security and amenity.

Comments included:

Good lighting, a safe environment at night.

There has been no capital works done to the tennis club facilities for decades and membership is at capacity with a waiting list.

It needs enlarging with 2 extra tennis courts and somewhere people can socialise after playing - the current club room may be heritage listed but it's really quite disgusting - old and very grubby.

Would be great to have a social club/hub for the various sporting clubs that use the precinct. As it is, clubs often hold functions at the bowls club. Important that it is large enough to accommodate decent numbers, and also overlooks the oval. This is not just for game day, but also allows parents to keep an eye on children playing out on the oval. Also think there needs to be separate rooms/facilities so that the venue can hold men's and women's matches on the same day.

Public toilets, to prevent people (mainly men) using nearby lanes and the area under the grandstand as public urinals.

Maximise space, more storage for sporting clubs, better integration with tennis club, outdoor spaces for use during summer months, capitalise on view with second story, clubs-only space (ie. not for use by public groups), female-friendly facilities.

The community facilities need updating.

The green environment all around the facilities needs to be improved.

Cars should not be allowed to drive in to the community facilities. None I see are for people with disabilities.

The vandalism and graffiti needs to be dealt with.

There should be more water fountains with dog drinking bowls incorporated into them near these facilities.

There need to be more recycling bins made available to avoid broken bottles, bottle cap and cans being left lying about.

Could alternative housing be provided for those sleeping rough in the grand stand?

The following summary provides an overview of the responses:

- Changing rooms upgraded for female participation in sporting codes
- More water fountains with taps for bottle refill, seating, more recycle/rubbish bins
- Improved pathways
- Upgrade community facilities, enable people outside sports clubs to use the precinct
- Space where people of all ages and diversity can meet
- Public toilets (24/7 access)
- BBQ and playground near the community room, picnic benches
- Oval fenced off for off-lead dog walking
- Gym / exercise station
- Rough sleepers moved on
- Synthetic turf to courts

- En-Tout-Cas courts
- Community room that opens to the gardens
- Netball courts
- More trees
- Café
- Bike parking
- Remove cars
- Remove car and pedestrian conflicts
- Upgraded kitchen facilities
- Additional tennis courts
- More artwork
- Deck chairs (e.g. Federation Square)
- Better lighting, safer environment at night
- Better integrated with Bowls Club
- Decent club room, better kiosk/canteen
- Better seating options around oval
- More/better signage
- No change – like them as they are
- Better acoustics in community room
- Elevated viewing area
- More storage for sporting clubs
- More storage for community group users
- A place to feel at home for sporting clubs
- More parking, short stay parking
- DDA access
- Solar panels
- Outdoor power points
- More cover for rainy days

7.2.7 *Other consultation*

Face-to-face consultation was also held with other key stakeholders who are associated with the precinct and use of the Community Room.

Italian Fitzroy Senior Citizens

The Italian Fitzroy Senior Citizens have been long-term users of the Community Room. They hold weekly lunches for up to 60 people and a monthly function for 100 people which includes live music for dancing and a 3-4 course dinner. They utilise the commercial kitchen for a team of volunteers to prepare the meals. A substantial amount of inbuilt storage has been made available to them within the Community Room and kitchen as they keep on site all the cookware, bakeware, tableware, glassware, appliances, decorations, trolleys and pantry staples they require for these events. Their attachment to the precinct is evident and is associated with the garden setting, ease of access (no lifts, no stairs) and ability to drive into the site. The demographic of the community attending these events is aged and somewhat infirm.

The issues they identified as needing attention in any refurbishment or new build are as follows:

- Dedicated and appropriately sized storage that they can secure (avoid overhead storage)
- Larger commercial kitchen with proper commercial grade/sized equipment including exhaust
- Airconditioning
- Freezer (e.g. ice-cream) and refrigeration
- Good acoustics
- Access to two spaces to allow for men and women to hold separate activities at the same time
- Pest control in kitchen

Fitzroy Bowling Club

The Fitzroy Bowling Club has a long association with the sporting precinct in the Edinburgh Gardens having provided the original club facilities for the Cricket Club in the 1870s. The relationship has been maintained to this day and there is much interaction between the clubs with the Cricket and Football clubs hosting regular family and member events during the season at the Bowling Club. This relationship is envisaged to be something that continues.

Operationally the precinct poses some issues and opportunities for the Bowling Club that need to be considered in any new development including:

- Maintain the historic pedestrian access/link between the precinct and Bowling Club via the existing gateway in south-east corner – encourages casual patronage of the Bowling Club by spectators at Oval
- Restrict parking – illegal parking in front of the back gates and delivery area is an issue
- Improve wayfinding/signage – often having to redirect people to the oval/Grandstand/tennis club
- Additional public toilets in the area to relieve pressure on the Bowling Club
- Additional lighting in area to improve security generally
- Look at ways to minimise access for rough sleepers in Grandstand which has had the knock-on effect of increased number of break-ins to Bowling Club in attempt to access power, BBQ and toilets.

7.3 Identified needs

From the consultation process there is consensus between all the stakeholders as to what is required to upgrade and improve the amenity for the precinct. The community and sporting clubs are aligned in their desire to retain and celebrate the heritage significance of the precinct, retaining the highly valued garden aspect, while improving a much-loved corner of the Edinburgh Gardens.

There is acknowledgment that there needs to be reasonable accommodation for the sporting clubs that create the activity and vibe on the oval, while enabling the community to also enjoy access to the precinct.

The key needs are:

- Additional tennis courts to meet demand, and full compliance upgrade for existing tennis courts
- Upgraded change room facilities for all sports to support both male and female teams and achieve DDA compliance
- Club social room to create a permanent 'home' for the cricket and football clubs
- Retention of and improvement to community room and associated commercial kitchen, storage and amenities
- Improved storage and support spaces to serve the sporting clubs and ground operations
- Improved landscape amenity in the precinct to support spectators and users of the gardens including better passive security and removal of pedestrian and traffic conflicts
- Public toilets
- Improved public safety in the precinct through improvements to lighting and landscape

8.0 Functional Brief

The following brief has been developed based on the stakeholder consultation, assessment of relevant policies, strategic plans and facility standards as applicable to the precinct.

8.1 Site Master Plan and Functional Relationships

The Brunswick Street Oval precinct is a distinct sports activity area located in the south-west quadrant of the Edinburgh Gardens. Bounded by an established and relatively formal lawn and tree avenues

landscape the site is typically approached on foot via the path system. Primary vehicular access is from Brunswick Street, with a secondary services access possible from Napier Street.

In assessing the existing functional relationships these can be summarised as follows:

Location:	The Grandstand is a key element in the precinct. The existing functional relationship of the Grandstand to the oval and surrounding mounded terraces must be maintained. The location of the heritage Tennis pavilion is not original and it can be relocated.
Access:	Access to the site by the following transport means is to be retained: Pedestrian paths from within the gardens and connecting to surrounding streets Cyclist paths from within the gardens and connecting to surrounding streets Limited vehicular access to DDA parking spaces to be retained and space for pick-up/drop-off and deliveries via the single trafficable entry from Brunswick Street.
Relationships:	The Grandstand and sporting precinct has a historical operational connection with the Fitzroy Bowling Club, this should be maintained.
Operations:	Operational access for cleaning and maintenance is to be maintained from the existing Brunswick Street entry and north-south path to the east of the tennis courts that is accessible from Napier Street.

The Grandstand is designed to serve as a spectator stand and sports facility with a focus on football and cricket. This focus will remain unchanged, however the additional facilities required should be co-located or embedded within the existing structure to maintain and strengthen the primacy of the existing structure.

The tennis courts and associated amenities operate independently of the Grandstand. It is appropriate that this approach be maintained. There needs to be sufficient separation between the structures such that they both have a visible 'front door' and can operate independently at the same time.

The Community Room is not related to the sports operations and can and should have the ability to operate independently. The natural focus of the Community Room is the gardens and this relationship and orientation should be strengthened with a clear address to the gardens.

8.2 General Design Considerations

Considerations	Response
Design Quality	Demonstrate high quality design. The built environment is to be physically sound and durable. It must use quality materials and construction techniques, finished to a high standard. Materials and their functional application on site are to satisfy accepted norms for environmental practices. Meet all statutory and regulatory obligations and relevant government policies.
Heritage	Design to be in accordance with the conservation management plan policies for the Edinburgh Gardens. Built outcomes must ensure the retention of heritage significance of the Grandstand and Edinburgh Gardens with consideration given to the reversibility of works and working in disturbed areas where possible.

Sustainability	Deliver environmentally sustainable outcome to meet the City of Yarra design standards for project of this type and scale.
Functionality	Deliver the functional requirements well, so that the experience of the sporting and community activities and the building works is convenient, safe, efficient and fit for purpose.
Safety and access	<p>Improve the security for people traversing or attending activities in the precinct.</p> <p>Create a safe site for all stakeholders, visitors, public, project team and the environment during delivery and operation.</p> <p>Provide equality of access to the buildings, landscape and services for people of all abilities to meet accessibility standards and demonstrate inclusive practices.</p>
Public realm	<p>The place must be knowable and discoverable.</p> <p>Amenities that facilitate and support use of the gardens by the community are to be included in the works (e.g. public toilets, water fountains, seating, waste management).</p>
Landscape/Urban Design	<p>Deliver a quality landscape that meets the needs of both passive and active recreation users.</p> <p>Incorporate ESD principles including Water Sensitive Urban Design (WSUD) and rain water harvesting into the design.</p>

8.2.1 Heritage considerations

The *Edinburgh Gardens Conservation Management Plan* policies provide an overall framework for the retention of significance. It is acknowledged that the CMP will undergo a process of review and renewal in the next 6 months. Based on the current CMP the applicable general policies are as follows:

Use and Public Access

1. *Future use of the place should have regard for those factors which have been identified in the statement of significance as contributing to its significance and should not detract from the identified cultural significance of the place.*
2. *The Edinburgh Gardens should be maintained as a place of passive recreation and social interaction. Accordingly, public access should be maintained at all times. Existing active recreation areas may be retained and a range of passive recreational uses and activities should be permitted within the Gardens. Activities which have potential to affect the fabric of the Gardens should be discouraged.*

Adaptation and New Works

1. *Adaptation of and new works to significant elements should not detract from the overall cultural significance of the place.*

New Buildings and Elements

Any new buildings and elements should be carefully sited and be of an appropriately understated scale, form and design. Anything which has the potential to dominate the landscape of the Gardens should not be contemplated.

Parking

Parking should generally be confined to the surrounding streets other than for service vehicles engaged in activities associated with events or buildings.

The following specific conservation policies for built elements are also applicable:

Grandstand

1. *Retain and conserve the Grandstand in its current location in conjunction with the Peterson Oval and its environs.*
2. *Install and maintain fire detection and security lighting throughout the grandstand.*
3. *Adapt and alter the area under the grandstand as required.*

Community Hall

Retain or remove the community hall as required.

Tennis Club and Courts

1. *Retain or remove the tennis club facilities as required.*
2. *Retain and conserve the tennis club pavilion to the extent of its early twentieth century form and fabric.*

Bocce Court

Retain or remove the bocce court facilities as required.

Path System

1. *Retain and maintain the formal pathway layouts and surface treatment.*

Sundry Items

1. *Maintain an adequate level of general lighting.*
2. *Retain and maintain or replace the garden furniture as required.*
3. *Introduce new sporting infrastructure only if it does not adversely impact on heritage values.*

Avenue Plantings

1. *Retain Elm and Oak avenues.*

8.2.2 Sustainability

The City of Yarra is committed to embedding ESD principles in the creation, renewal and demolition of Council owned and managed buildings.

The ESD Buildings Policy sets out minimum standards. In the context of climate emergency, consideration is made to building new buildings to the best standard of sustainability possible with a focus on reducing energy consumption and greenhouse gas emissions. This project is considered a Major New/Major Upgrade and therefore the aim is to achieve **6 Star Green Star**.

Specific initiatives which need to be embedded in the design are outlined as follows.

Maximise Solar - the roof design must be considered from the start to maximise solar panel space. This includes the roof design but also the placement of roof penetrations which can hinder solar panel installation. As the site will be active at night and require lighting the scope should include a battery storage system to run the evening operations.

No Natural Gas – Disconnect gas from the site and all appliances to be high efficiency electric.

Design for Climate Change – Design for more extreme weather events that are forecast with climate change, particularly heavy rain.

Back-up power mode for power outages – Enable the site to run in 'island mode' utilising battery storage system.

8.2.3 BCA

A full Building Code Review is required at schematic design stage to establish the design parameters for the project. The design is to comply with the deemed-to-satisfy requirements of the BCA unless otherwise varied through an alternative solution or dispensation provided by the Building Surveyor.

The building occupancy for both the Grandstand and Tennis Pavilion as defined in the BCA is Class 9b Public Assembly and on this basis the minimum type of construction required is Type B.

The Grandstand is currently protected with an automatic sprinkler system due to the existing structure being timber and no fire separation between floors. This is to be retained. It is assumed fire compartmentation will be required between the Grandstand and any new structure and will need to achieve FRL 120/120/120. Consideration should be given to extending the automatic sprinkler system to any adjoining structure to simplify the fire resistance design.

Should works, including alterations or adaptation to the Grandstand, exceed by more than 50% volume of the existing building, allowance should be made for assessment of and implementation of seismic strengthening of the structure.

8.2.4 DDA

Provide disability access in accordance with the Federal Disability Discrimination Act, Victorian Disability Act, the Disability Standards and other Australian Standards. This includes upgrading the Grandstand to meet current standards, including providing lift access to the mezzanine and upper level of the stand.

8.2.5 Hazardous Materials

The following reports have been provided by the City of Yarra to inform the project:

- Division 6 Hazardous Materials Assessment Edinburgh Gardens Alfred Crescent Fitzroy North, Victoria (Prensa, May 2019)
- Preliminary Soil Contamination Assessment Edinburgh Gardens Fitzroy North, Victoria (Prensa, June 2019)
- Soil Management Plan Edinburgh Gardens Fitzroy North VIC 3068 (Prensa, June 2019)

Due to the works carried out to the Grandstand within the last 15 years, hazardous materials remediation has been carried out. It is possible there may be latent, undetected areas of contamination which could only be identified by destructive investigation.

Asbestos

- Non-friable asbestos in the form of upper wall and ceiling linings to the main room of the tennis club pavilion
- Non-friable asbestos in the form of wall cladding within the toilets of the tennis club pavilion
- Non-friable asbestos in the form of wall cladding to the exterior of the tennis club pavilion
- Non-friable asbestos within the external west side gable end

Synthetic Mineral Fibre (SMF)

No suspected SMF materials were identified at the time of the assessment.

Polychlorinated Biphenyls (PCB)

No PCB containing capacitors were identified or suspected during the assessment.

Lead containing paint (LCP)

No LCP was identified or suspected during the assessment.

Ozone Depleting Substances

No ODS containing air conditioning units were identified or suspected during the assessment.

Soil Contamination

Contamination was identified within the fill at the site to a depth of 1m below ground.

A *Soil Management Plan* has been prepared to guide the management of the soil contamination by Council and Contractors.

Consideration should be given during the design phase to the necessary on-site stockpiling and remediation of any excess soil prior to reuse on site or removal as Industrial Waste. Preferably the soil should be remediated and reused on site.

8.2.6 Arts Strategy

In accordance with the Arts and Cultural Strategy opportunities for an imbedded commissioned arts piece as part of the building and landscape works is to be included in the project. This is to be funded by allocating 1% of the total project budget.

8.2.7 Bicycle parking

Provide bike parking hoops and/or pole vault hoops in appropriate locations adjacent to the Tennis Club, Community Room and Grandstand entries. Locate in position where the hoops are visible to minimise casual vandalism and theft.

8.2.8 Crime Prevention Through Environmental Design

The design should manage the ongoing safety of all users of and visitors to the precinct through implementation of CPTED principles when developing the urban design, landscaping and building designs.

This should include engagement at an early stage with Community Partnerships, Recreation and Open Space, Engineering Operations, Asset management, Urban Design, Arts and Cultural Services and Family Youth and Children's Services.

Opportunities for graffiti are to be minimised through selection of materials that can be easily maintained and cleaned, minimise opportunities for climbing, or alternative treatments such as commissioning of murals.

8.2.9 Public Toilets

Public toilets that are accessible to users of the Edinburgh Gardens are to be integrated into the design. This should include provision of gender-neutral public toilets to ensure convenience for LGBTIQ groups, families with young children and elder people with carers. The design of the facility should:

- Not allow any concealed areas that could be used for inappropriate congregation or loitering or hiding drugs
- Avoid provision of barriers or vision screen at the entry to provide a clear view of the interior and cubicles from the external public space
- Provision of lighting inside and outside the toilets for clear visibility
- Installation of sharps disposal units to avoid littering of syringes
- Use fresh and appealing colours for the walls and flooring and utilise impermeable materials that minimise maintenance requirements and reduce odour
- Provision of natural light through skylights to minimise use of artificial lighting during the day. Use low energy lighting such as LED or solar powered lighting or sensor lights for interior use
- Provision of natural ventilation to minimise use of energy
- Consider measures to minimise water usage in the self-cleaning process of the automated toilets
- Have access to a designated parking bay for people with disabilities should be considered. If it is not possible to do so, the shortest, most convenient and uninterrupted path of travel that complies with Australian standards should be provided from the car to the facility

- Provide required clearances around the facility for access for people with disabilities and maintenance personnel
- Provision of clear, inclusive and informative signage to include direction, distance (including nearest disability accessible toilet), opening hours and telephone number to contact. Signage for people with vision impairment should also be provided
- Inclusion of graphics and visual symbols to serve the culturally and linguistically diverse (CALD) communities
- Provision of additional facilities like parent rooms, baby change tables and changing places facilities for people who have special access requirement should be considered based on the location and availability of space. It is important to consider provision of baby changing places facilities in both men and women toilets, if they are provided separately
- Provision of 24-hour access to facilities closer to important public transport nodes which also serve the homeless community may contribute to addressing anti-social behaviours
- Provision of wider doorways to ensure access of mobility devices such as wheelchairs and mobility scooters
- Provision of semi-automatic doors which allows for both automatic and manual functions

8.3 User Requirements

Element	Detail
Operating Hours	<p>Community Room</p> <p>7:00am to 10:00pm Sunday – Thursday</p> <p>7:00am to 11:00pm Friday, Saturday</p> <p>Tennis Club</p> <p>7:00am to 9:30pm</p> <p>Grandstand</p> <p>As required by sporting club operations</p> <p>Evening functions to close by 10:00pm Sunday – Thursday, 11:00pm Friday and Saturday</p>
Access/Security	<p>Tennis Club – ‘Book A Court’ gate access technology (keypad).</p> <p>Grandstand – access by keypad</p> <p>Community Room – access by keypad</p> <p>Open Access to all public toilets, Grandstand seating</p> <p>Privileged Access to social spaces, plant areas, grounds maintenance store, individual club storage areas, community storage spaces.</p> <p>Open access = space is publicly accessible standard operating hours</p> <p>Privileged access = space is unlocked by Club/Hirer/Council management (i.e. key pad/key access)</p>
Food and Beverage	<p>Reheat kitchen for Community Room and Club Social Room. Staffed by external caterers or volunteers.</p> <p>Reheat Kitchen equipment to include commercial scale combi ovens, steamer, hot plates, fryer, pot wash sink, commercial dishwasher, ice machine, benches (fixed and mobile), refrigeration and freezer (drinks, consumables), equipment storage, kitchen exhaust, hand sinks.</p>

Element	Detail
	<p>Kiosk for Tennis Club and Grandstand. Staffed by volunteers.</p> <p>Grandstand Kiosk equipment to include pie warmer, microwave, sink, refrigeration (drinks fridge), bench, coffee machine, Zip unit for hot water, cash drawer, sufficient bench space for equipment and service, storage for consumables, display space for consumables, hand sink, space for ice-cream freezer.</p> <p>Tennis Club kitchen/kiosk equipment to include oven, sink, microwave, refrigeration, dishwasher, bench, Zip unit for hot water, sufficient bench space for service and storage for consumables, hand sink, cash drawer.</p> <p>Community Room will not be a licensed venue. Hirers must apply for a temporary limited license if they intend to sell alcohol or submit a Partysafe form to Victoria Police if they wish to supply alcohol free of charge to guests or allow guests to bring their own alcohol.</p> <p>Club Social Room will have a bar facility integrated which can be locked off from the room when required.</p> <p>It is preferred the participating Clubs have achieved Good Sport Level 3 certification and have a Good-Sports alcohol management policy in place.</p> <p>Bar equipment to include refrigeration (drinks), sink, bench, hand sink, glass washer, ice machine, Zip unit for hot water, cash drawer, coffee machine, storage for glasses, consumables, bench space for service.</p>
Audio visual	AV setup for presentations to Community Room, Meeting rooms, Club Social Room comprising LED screen, computer, projector, screen, MATV.
Maintenance	Technical maintenance will be required for audio visual installations.
Staffing	<p>Management of Community Room and associated meeting rooms will be through Council Booking system and managed by Venues and Events.</p> <p>Management of Tennis Club and Club Social Room will be through specific agreements entered into by sporting clubs with Council.</p>
Storage	<p>Suitable storage for function spaces, within close proximity, and door opening spans to accommodate furniture as selected for the space.</p> <p>Suitable storage for community groups who regularly utilise the community room in close proximity to the room.</p>
Services	<p>Heating/Cooling to function spaces, meeting rooms. Ability to have each function space zoned and operated independently, if there's multiple different events being run concurrently e.g. HVAC, Lighting, AV, Electronic Security, Physical Security. All these systems must allow for individual space operation not 'all on or all off'.</p> <p>Kitchen exhaust, mechanical exhaust to bathrooms.</p> <p>CCTV to public areas.</p> <p>WAP (internal/external) throughout.</p> <p>External power provisions.</p> <p>External tap for pop-up coffee cart, BBQ.</p>

Element	Detail
	Recycled water for toilet flushing – water tank on site.
Waste management	<p>Waste management (standard + food waste) is to be integrated into the design and provide best practice sustainable management of waste streams based on Yarra City Council <i>Waste Minimisation and Resource Recovery Strategy</i>.</p> <p>Develop and implement a specific bin infrastructure strategy for the precinct that includes education and engagement with the sporting clubs and regular hirers of the Community Room.</p>
Wayfinding	<p>Signage at Brunswick Street to indicate vehicular/pedestrian access to the Grandstand, Tennis Club and Community Room.</p> <p>Desirably the path is 'named' to provide a formal address to the precinct to facilitate deliveries.</p>
Furniture	Flexible, ergonomic furnishings (tables, chairs) within all function spaces to suit maximum capacity.
Tennis Courts	<p>8 courts delivered to comply with recommended court dimensions for club play of 34.77 x 17.07m.</p> <p>Run-off at back of court: 5.48m</p> <p>Run-off at side of court to fence: 3.05m</p> <p>Minimum distance between two courts (unfenced): 3.66m</p> <p>Recommended distance between two courts (unfenced): 4.27m</p> <p>Surface: En-Tout-Cas and Synthetic Clay</p>
Landscape furniture	<p>Grandstand south side: Drinking fountains, external lighting, bicycle hoops, seating for spectators, standing space for portable BBQ in close proximity to Grandstand Kiosk window.</p> <p>Community Room: Casual fixed seating and lighting in landscaped area in proximity to room for indoor/outdoor events.</p> <p>Tennis Club: Fixed BBQ with sink facility associated with Tennis Club Pavilion, lighting.</p> <p>Landscape generally: seating and lighting to support activation of new landscape areas.</p>

8.4 Spatial Brief

No.	Name of space	No. of people/ spaces	Unit area (m2)	Total area (m2)	Notes	Related space	Existing or New	Club Use	Community
TENNIS PAVILION									
1	Administration office	1 person	10m2/p	10	Principally for tennis club coach, operations, restringing, tournament management. Window to courts.	Tennis club areas	N	✓	✗
2	Tennis male change room			20	2 showers, 3 closet pans and 2 handbasins	Tennis club rooms, courts	N	✓	✗
3	Tennis female change room			20	3 showers, 3 closet pans and 2 handbasins	Tennis club rooms, courts	N	✓	✗
4	Tennis accessible change			10	1 shower, 1 closet pan, 1 handbasin, baby change table	Tennis club rooms, courts	N	✓	✗
5	Tennis club room (incl existing pavilion)	50 people	1.3m2/p	80	Tennis club space, views towards the tennis courts, incorporates the retained pavilion		N/EX	✓	✗
6	Kitchen/kiosk (tennis)			20	Kitchenette level for food preparation, kiosk window to exterior, can double as tournament operation point	Courts, club room	N	✓	✗

No.	Name of space	No. of people/ spaces	Unit area (m2)	Total area (m2)	Notes	Related space	Existing or New	Club Use	Community
7	Tennis storage			15	Permanent storage for merchandise, coaching equipment	Courts, club room	N	✓	✗
8	Tennis grounds storage				Direct access to tennis courts for spreader machine, ANTHS equipment, drag mats, brooms and sweepers, coaching baskets, ball machine, roller	Courts			
				12			N	✓	✗
	Total			187					
	Additional 30% allowance for circulation, etc.								
				243					
	COMMUNITY PAVILION								
9	Community Room - Large	130 people	1.0m2/p	130	Bookable community room. AV facilities (projector, screen, LCD, whiteboard) Storage cupboards min 600mm deep to wall for user storage	Foyer, commercial kitchen, public toilets	N	✗	✓
10	Meeting/Conference room	30 people	2m2/p	60	Bookable meeting room for community, used by clubs for committee meetings. AV facilities (projector, screen, LCD screen, white board)		N	✓	✓
11	Store 1 - Community group storage			6	Store room with adjustable shelving, space for furniture and trolleys	Community Room	N	✗	✓

No.	Name of space	No. of people/ spaces	Unit area (m2)	Total area (m2)	Notes	Related space	Existing or New	Club Use	Community
12	Store 2 - Venue and events			10	Shared storage for chairs, tables, white boards, community users lockable storage cupboards, AV cupboard	Community room, Club room	N	x	✓
13	Commercial kitchen			30	Kitchen for use by community, clubs own use or external caterers for event	Community room, Club room	N	✓	✓
14	Kitchen storage			8	Storage space associated with commercial kitchen use	Commercial kitchen	N	✓	✓
15	Public toilets - male	Design occupancy: 130 (assume 50:50 M/F)		10	Accessed from within the building only 1 closet pan, 1 urinal, 1 handbasin	Community room, meeting rooms	N	✓	✓
16	Public toilets - female	Design occupancy: 130(assume 50:50 M/F)		10	Accessed from within the building only 2 closet pans, 2 handbasins	Community room, meeting rooms	N	✓	✓
17	Public toilets - changing places toilet			14	Accessed from within the building only, baby change 1 closet pan, 1 handbasin	Community room, meeting rooms	N	✓	✓
18	Externally accessed public toilets	Design occupancy:		50	Publically accessible facility from building exterior	Exterior	N	✓	✓

No.	Name of space	No. of people/ spaces	Unit area (m2)	Total area (m2)	Notes	Related space	Existing or New	Club Use	Community
		1000 (assume 50:50 M/F)			Male: 2 closet pans, 5 urinals, 4 handbasins Female: 8 closet pans, 4 handbasins Unisex DDA: 1 closet pan, 1 handbasin				
19	Utility/cleaners			5	Adjacent to kitchen and community room. Includes trough.	Commercial kitchen, community room	N		
20	Cricket External Storage			30	Permanent storage for training and match day equipment	Field	N	✓	✗
21	Grounds curator storage			20	Direct access to oval for roller, covers, equipment, secure for authorised access only. Roller door access.	Trafficable path to oval	N	✓	✗
	Total			383					
	Additional 30% allowance for circulation, etc.			498					
	GRANDSTAND								
22	Change room 1	12 - 22 + trainers		30	clothing bag/hooks, bench seating around perimeter	Amenity room, Oval	EX	✓	✗
23	Amenity room 1	12 - 22 + trainers		25	3 cubicle showers, 4 toilets, 2 handbasins, seating within shower	Change room, Oval	EX	✓	✗

No.	Name of space	No. of people/ spaces	Unit area (m2)	Total area (m2)	Notes	Related space	Existing or New	Club Use	Community
					cubicle, bench seating in general change area				
24	Change room 2	12 - 22 + trainers		30	clothing bag/hooks, bench seating around perimeter	Amenity room, Oval	EX	✓	✗
25	Amenity room 2	12 - 22 + trainers		25	3 cubicle showers, 4 toilets, 2 handbasins, seating within shower cubicle, bench seating in general change area	Change room, Oval	EX	✓	✗
26	Change room 3	12 - 22 + trainers		30	clothing bag/hooks, bench seating around perimeter	Amenity room, Oval	EX	✓	✗
27	Amenity room 3	12 - 22 + trainers		25	3 cubicle showers, 4 toilets, 2 handbasins, seating within shower cubicle, bench seating in general change area	Change room, Oval	EX	✓	✗
28	Change room 4	12 - 22 + trainers		30	clothing bag/hooks, bench seating around perimeter	Amenity room, Oval	EX	✓	✗
29	Amenity room 4	12 - 22 + trainers		25	3 cubicle showers, 4 toilets, 2 handbasins, seating within shower cubicle, bench seating in general change area	Change room, Oval	EX	✓	✗
30	Umpire Room	2 - 6 people		25	Unisex change and toilet facility, 2 pans, 2 showers, 2 handbasins, change areas, path to oval side for run-out, 1 ambulant compliant	Oval	EX	✓	✗

No.	Name of space	No. of people/ spaces	Unit area (m2)	Total area (m2)	Notes	Related space	Existing or New	Club Use	Community
					toilet cubicle, seating within shower cubicle, bench seating in change room, full-height partitions, power outlets near dryers for hair dryers, shelving near basin for personal grooming, sliding shutter doors to divide the space				
31	First Aid/Medical			15	Required for club management and assisting volunteers. Separate to club rooms. Incorporates first aid facilities including bench / stretcher area, sink and wash basin. Storage for first aid equipment.	Oval, change rooms	EX	✓	✗
32	Kiosk/canteen	2-3 volunteers		15	Cricket and Football club use - snack food and beverages on game days. Sink + separate hand basin. Power for coffee machines, pie warmer, refrigerator, microwave. View of field preferred.	BBQ area Spectator area Oval	EX	✓	
33	Cricket Storage			20	Storage of training and match day equipment, club equipment, merchandise	Club Room	EX	✓	✗
34	Football Storage (junior)			20	Permanent storage for training and match day equipment, merchandise	Field, club room	EX	✓	✗

No.	Name of space	No. of people/ spaces	Unit area (m2)	Total area (m2)	Notes	Related space	Existing or New	Club Use	Community
35	Football Storage (senior)			20	Permanent storage for training and match day equipment, merchandise	Field, club room	EX	✓	✗
36	Club Social Room	100 - 150 people	1.3m2/p	130	Shared permanent club room for events, display club memorabilia, player meetings, training meals	Commercial kitchen, toilets	N	✓	✗
37	Social Room public toilets	Design occupancy: 150 (assume 50:50 M/F)		30	Male: 1 closet pan, 2 urinals, 2 handbasins Female: 4 closet pans, 2 handbasins Unisex DDA: 1 closet pan, 1 handbasin	Club Social Room	N	✓	✗
	Total			495					
	Additional 30% allowance for circulation, etc.			644					
	Internal Area Total			1385					
	EXTERIOR SPACES								
38	Verandah/spectator seating (tennis)			80	External shaded seating area overlooking courts		N	✓	✗
39	External covered area (cricket/football)			50	Existing grandstand (DDA access required)		EX	✓	✗
40	Social BBQ area			115	Tennis social area, within or adjacent to tennis club secure zone		N	✓	✗

No.	Name of space	No. of people/ spaces	Unit area (m2)	Total area (m2)	Notes	Related space	Existing or New	Club Use	Community
41	Timekeeping / scoring box			NA	Within Grandstand. Clear view of playing field. Preferably centred		EX	✓	✗
42	Interchange bench / coaches boxes			NA	On ground/oval. Temporary furniture storage within general storage area.		EX	✓	✗
43	Spectator area between Grandstand and oval			350	Seating, water fountain with dog bowl, BBQ area,		EX	✓	✓
44	Rubbish storage area			10	10 x 240L Wheelie bins 580x580mm, secure area, access to driveway for removal		N	✓	✓
45	Bike parking				14 Ground Mounted Hoops		N		
46	Carparking				2 DDA spaces, 2 spaces for admin/delivery		N		
	External Area Total			605					

8.5 Life cycle costs

The built project should be cost effective and efficient to maintain the ongoing condition of the assets included in the design solution.

Waste, water, energy and other resources consumption should be minimised wherever possible.

The assets linked to the design solution should have a minimum renewal period of 50 years.

8.6 Safety in design

The project is to be reviewed in all disciplines during the design phase for safety-in-design during construction and operation.

9.0 Concept Design

A concept design has been developed for the precinct based on the consultation outcomes and functional brief.

The design is described in the attached drawings included in Appendix A.

CD01/rev A	Site Plan	1:500 @ A1
CD02	Existing Floor Plan	1:250 @ A1
CD03/rev A	Demolition Plan	1:250 @ A1
CD04/rev A	Proposed Floor Plan 8 Courts Option	1:250 @ A1
CD05/rev A	Proposed Floor Plan 7 Courts Option	1:250 @ A1
CD06	Grandstand Proposed Plans	1:200 @ A1
CD07	Proposed Landscape Concept	1:250 @ A1

9.1 Design approach

The design provides a site master planning approach for the redevelopment of the precinct. The key principles that have generated the design approach are:

- Maintaining and enhancing the historic relationship of the Grandstand to the Oval
- Restoring and adapting the Grandstand to meet the operational needs of the Cricket and Football Clubs, maintaining it as the principal sports related facility at the oval
- Providing a new fit-for-purpose Tennis Club building that incorporates the heritage Pavilion
- Constructing 8 new tennis courts (sized to achieve compliance with 'Club' level standards as stipulated by Tennis Australia)
- Constructing a new Community Room and associated public facilities on the north side of the Grandstand with a focus and connection to the gardens, enabling activation of the landscape to the north of the Grandstand and removing programmatic conflicts thereby achieving equity between the sports and community uses/users of the precinct
- Improved and activated landscape to the north side of the Grandstand and between the Grandstand and Oval that can be shared with and occupied by the Edinburgh Gardens community
- Integration into existing path network of the precinct and elimination where possible of the pedestrian/car conflicts
- Maintaining historic links to Bowling Club.

9.1.1 *Grandstand*

The Grandstand has been progressively altered and adapted to suit the changing needs of cricket and football since it was erected in 1888. Retention of the building as an operating and occupied facility is an essential design action to ensure it remains connected and relevant to the sporting activities in this precinct.

The ground floor undercroft which fronts the oval remains the place for the activities that directly service the players and their access to the oval including change rooms including amenities (toilets, showers), umpire rooms, first aid and the kiosk.

The existing mezzanine level, which is hardly used, with improved access is the logical location for storage of equipment.

Including a new social room within the grandstand that surveys the oval within the rear section of the tiered spectator stand area can be sensitively managed by back lighting the glazed space, enabling the pavilion roof to retain the appearance of a floating element and diminishing the solidity of the new space.

Activation of the stand will alleviate the impact of rough-sleeper occupancy that is incrementally deteriorating the fabric and increasingly impacting the safety of users of the precinct.

Given the primary relationship and presentation of the building is to the oval, any opportunity for expansion is restricted to the rear, north side of the Grandstand which has always operated as the back-of-house area.

Carefully sculpted the addition can provide the necessary compliance upgrade the Grandstand requires (lift, public toilets, waste management, ground curator store), while integrating the community activation of the precinct by introduction of a new community room. Focusing activity to the north of the Grandstand will provide a degraded landscape with renewed purpose and focus, encouraging activities and improving the safety in this area of the gardens.

The community room is a necessary inclusion within the precinct. It provides an amenity that other community facilities can't replicate, chiefly because it is located within a landscape that provides an appealing aspect, has separation from the harder edge of the suburb and provides opportunities for an internal/external activity which is valued by most users. By co-locating it with the sports activities there are opportunities for crossover use when events or activities arise that need the expanded space.

By pairing it with the Grandstand, there are opportunities for services to be centralised and amenities to be shared.

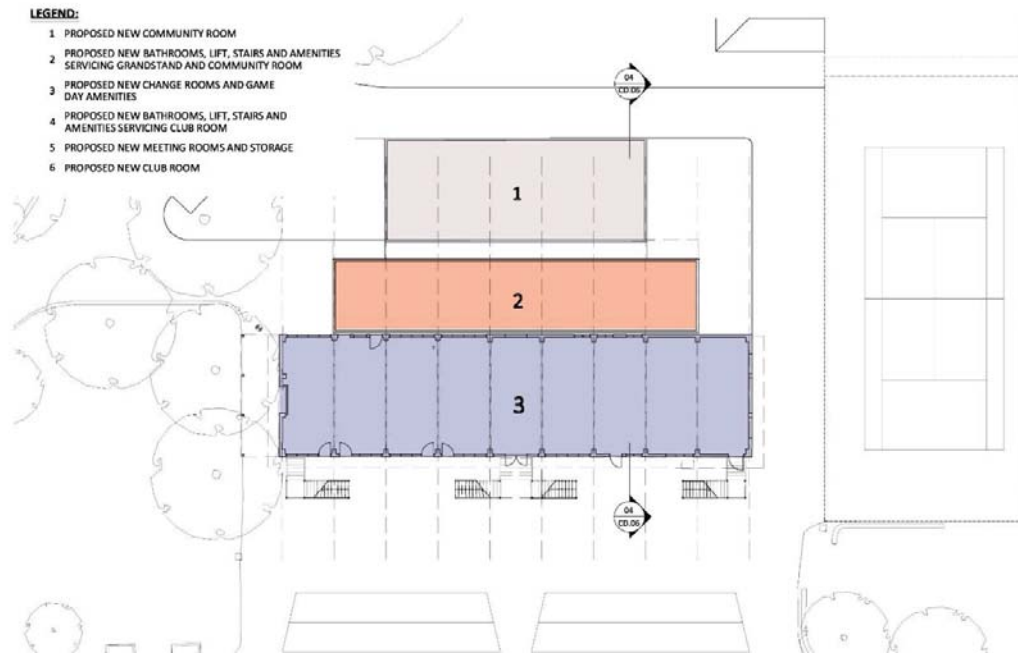


Figure 17 Proposed ground floor plan

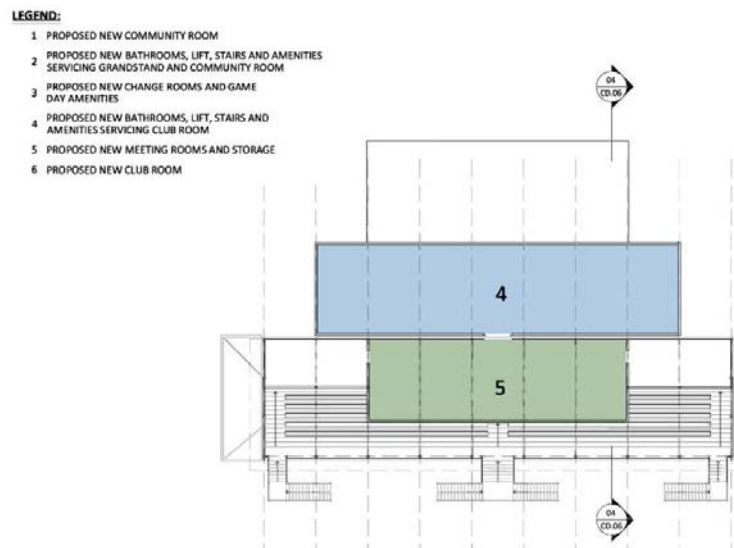


Figure 18 Proposed mezzanine floor plan

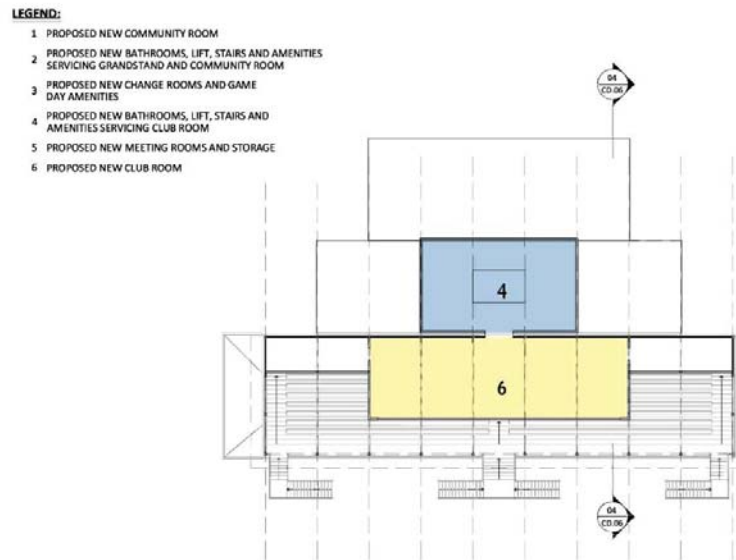


Figure 19 Proposed first floor plan

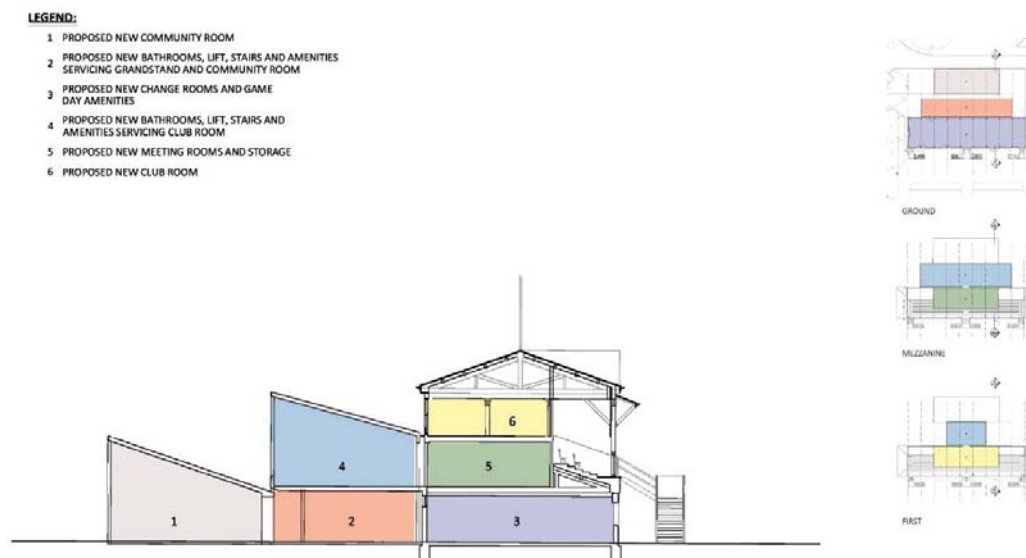


Figure 20 Proposed section A

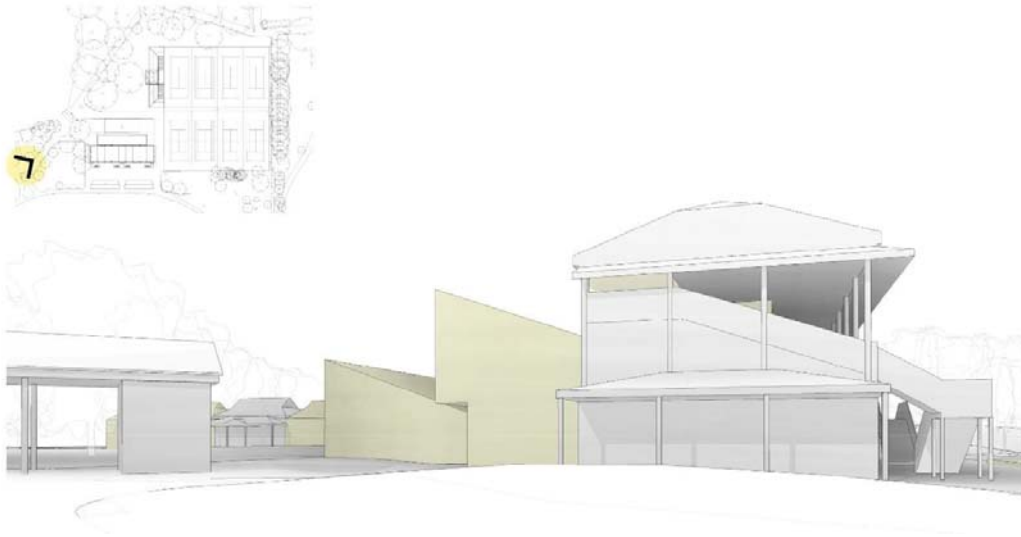


Figure 21 View from Brunswick Street entrance

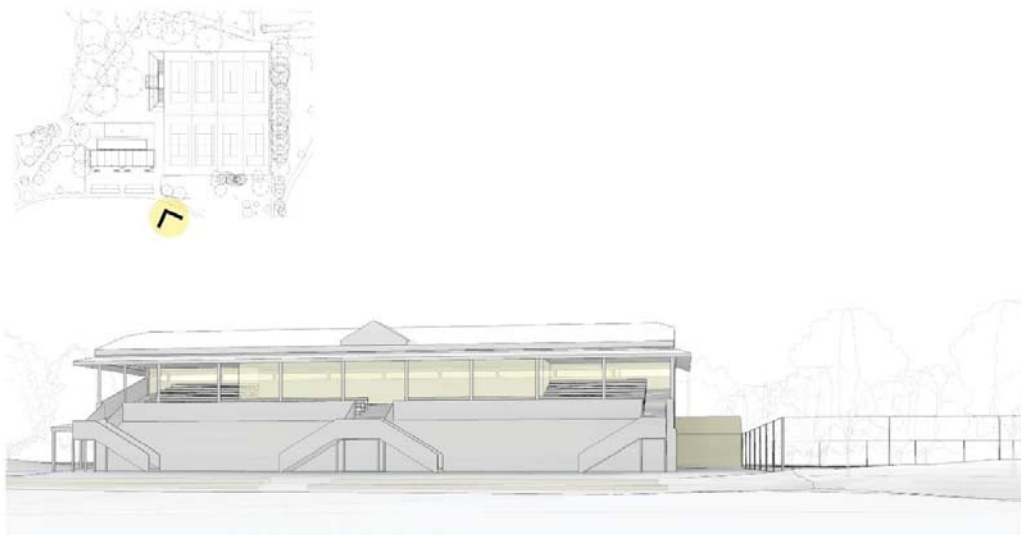


Figure 22 View from oval



Figure 23 View from gardens

9.1.2 *Tennis Club*

The existing tennis courts and tennis club amenities are compromised and non-compliant and therefore complete replacement is the preferred approach. This design resolves the increased demand for courts by sensitively integrating additional courts and a new Clubhouse within the precinct.

The design incorporates the retention and relocation of the earlier Pavilion club room, suggesting it become the central focus of the new clubroom development.

9.2 **Landscape**

To accommodate the expanded area for the tennis courts, an existing path and some of the avenue planting to the north of the courts will be removed. The courts are significantly restricted by this path and the 'left over' landscape is poorly presented and occupied as a result. The loss of the path will allow for a new landscape around which the tennis pavilion and Community Room pivot, a space that can be activated by the users of these spaces, or independently by the Edinburgh Gardens community. It is envisaged to be a space that welcomes active or passive, quiet occupation depending on the season or time of day. The landscape needs to enhance the perception of and actual safety of the public and this will be done through lighting, clear view corridors and the passive surveillance the activated buildings will offer this corner of the gardens.

The area between the oval and Grandstand will be regenerated as a friendlier space for viewing and game day activities, and casual use of the oval including water fountains and new seating. Landscaping elements will desirably reference the original terraced tiers that originally formed the apron to the Grandstand and be designed to withstand the heavy occupation of this space by players and spectators.



Figure 24 Proposed landscape concept

9.3 Construction phase operations

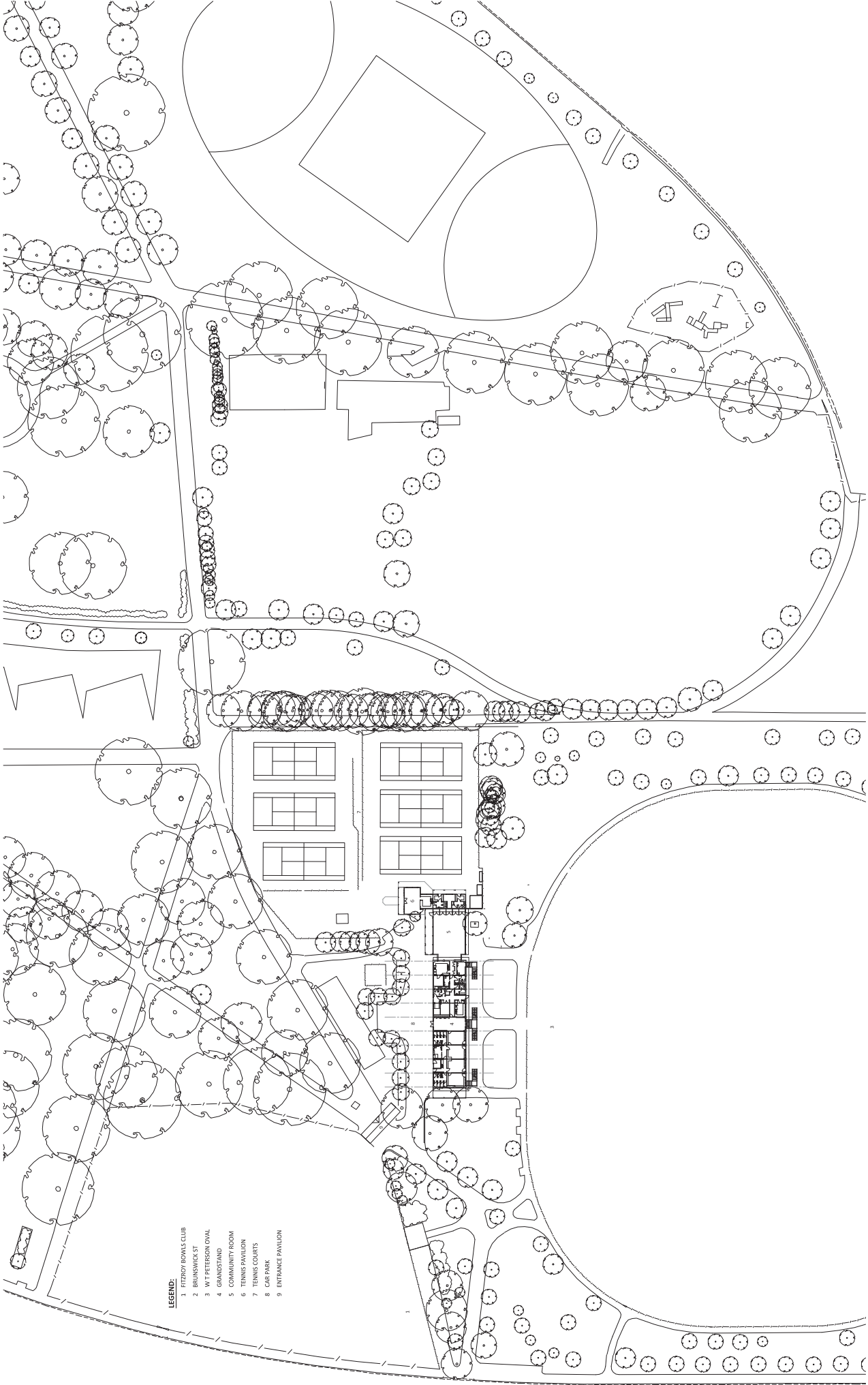
It is envisaged that the oval would continue to operate during the redevelopment works and portable temporary facilities would be located adjacent to the oval to meet the demand of the Clubs. Consideration will need to be given to a shutdown period for the tennis club, possibly during the winter months to enable the complete replacement of the courts.



Figure 25 Lords Cricket Pavilion, an example of a pavilion with a 'floating' roof.



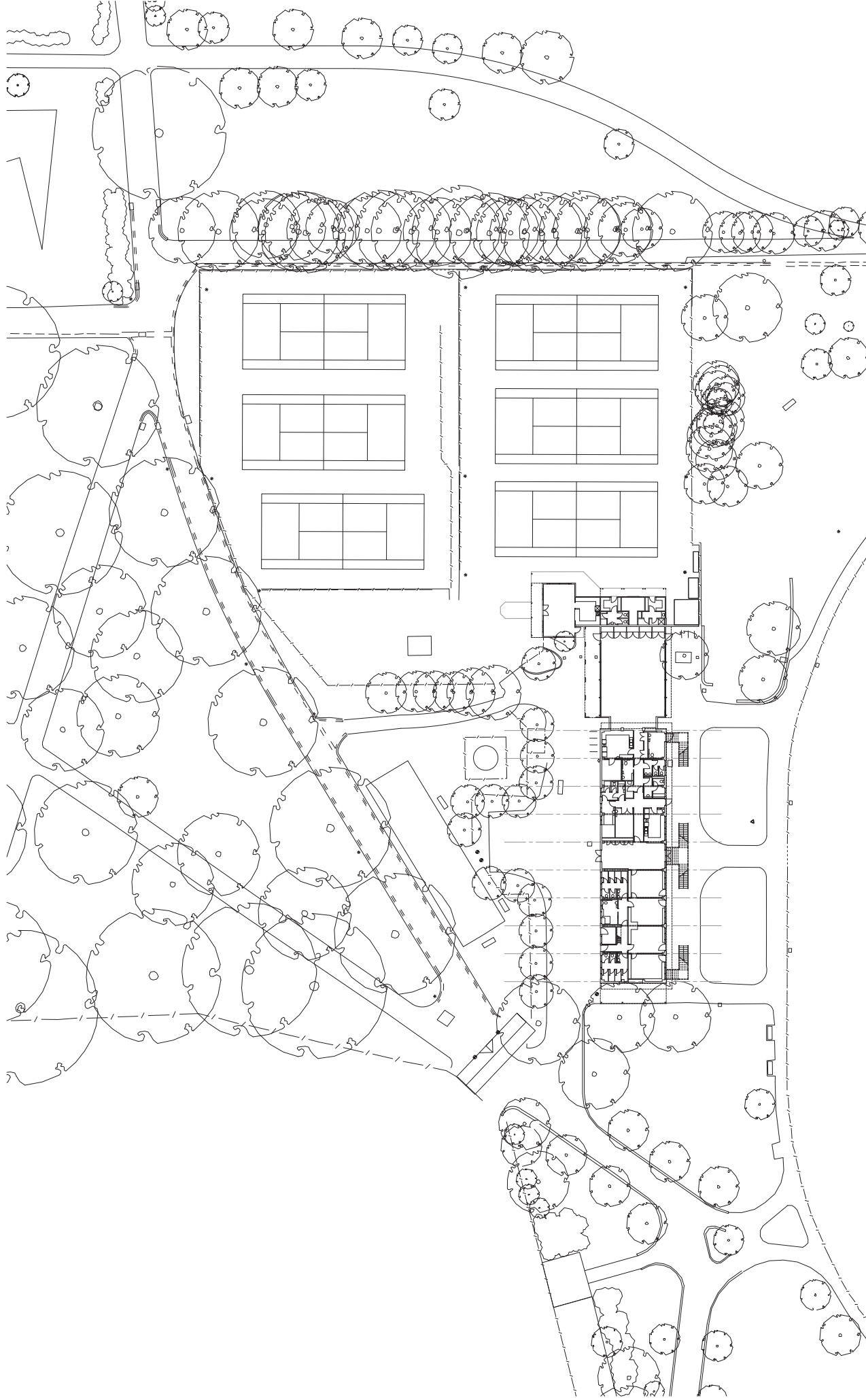
Figure 26 Sydney Cricket Ground pavilion, showing an enclosed social space in the tiered seating, enveloped by seating. Backlit the room disappears.



- LEGEND:
- 1. FITZROY BOWLS CLUB
 - 2. BRUNSWICK ST
 - 3. W T PETERSON OVAL
 - 4. GRANDSTAND
 - 5. COMMUNITY ROOM
 - 6. TENNIS PAVILION
 - 7. TENNIS COURTS
 - 8. CAR PARK
 - 9. ENTRANCE PAVILION

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	PROJECT BRUNSWICK ST OVAL PRECINCT FEASIBILITY STUDY	DRAWING TITLE SITE PLAN	DRAWING NO. CD.01	REVISION A
	1	10/07/2019				
			DESIGNED BY DM	CHECKED BY AMT	PROJECT NO. 7965	DATE JUNE 2019
<p>LOVELL CHEN LEVEL 8, THE WILLAMSHAW PARADE EAST MELBORNE 3002 AUSTRALIA 03 9594 7777 lovelldesign.com.au</p>						
<p>NOTE: ALL DIMENSIONS AND LEVELS SHOWN ON THIS DRAWING ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY. DO NOT SCALE DIMENSIONS OR LOCATIONS ARE TO BE NOTED TO THE PROJECT.</p> <p>COPYRIGHT: THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF LOVELL CHEN</p>						



NOT FOR CONSTRUCTION

NO.	DATE	REVISION
1	15/05/21	CONCEPT DESIGN

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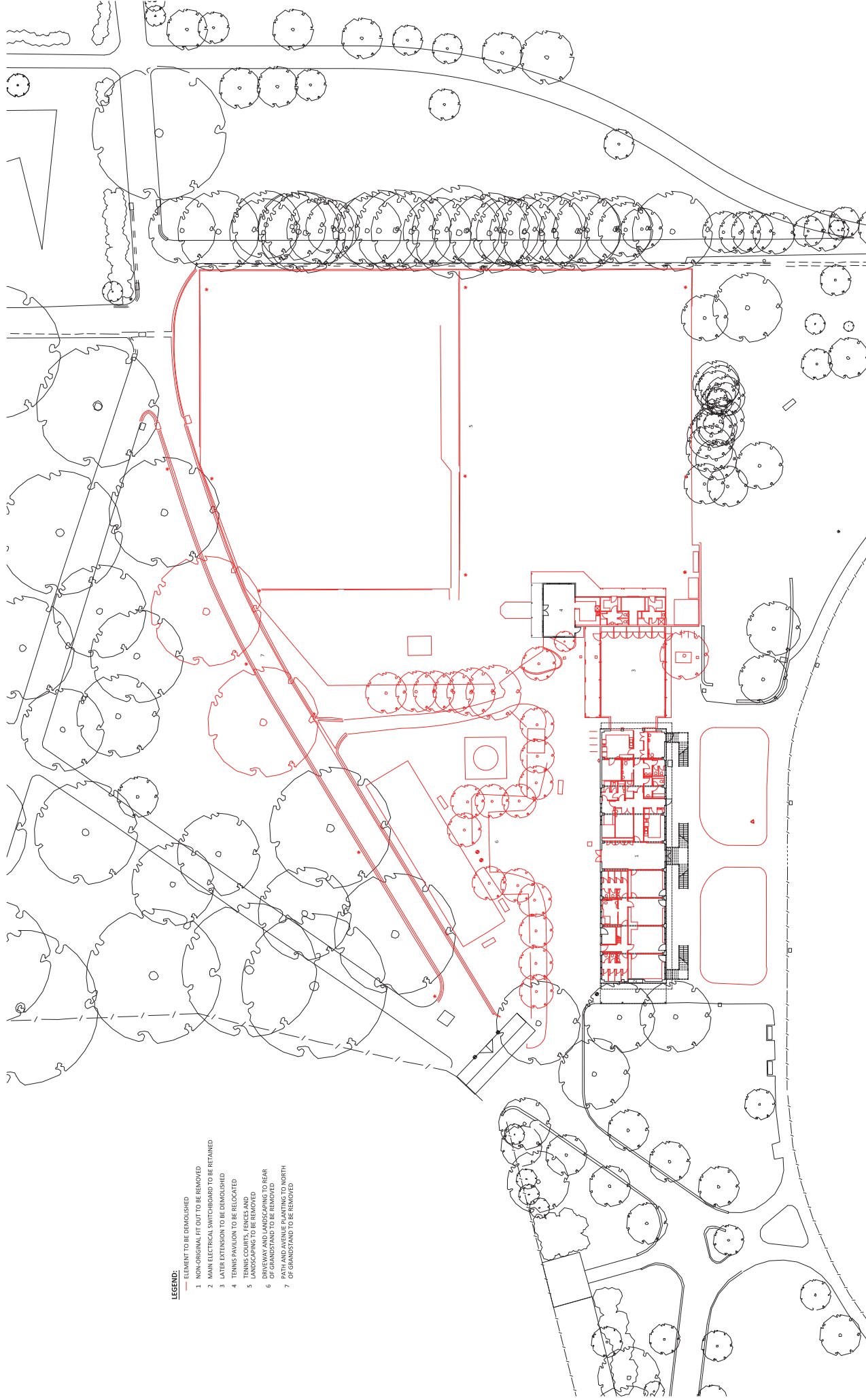


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PROJECT: BRUNSWICK ST OVAL PRECINCT
FEASIBILITY STUDY
DRAWN: BM
CHECKED: AMT
PROJECT NO.: 7965
DATE: JUNE 2019

DRAWING TITLE: EXISTING FLOOR PLAN
SCALE: 1:250@A1
SHEET: CONCEPT DESIGN
DRAWING NO.: CD.02
REVISION:

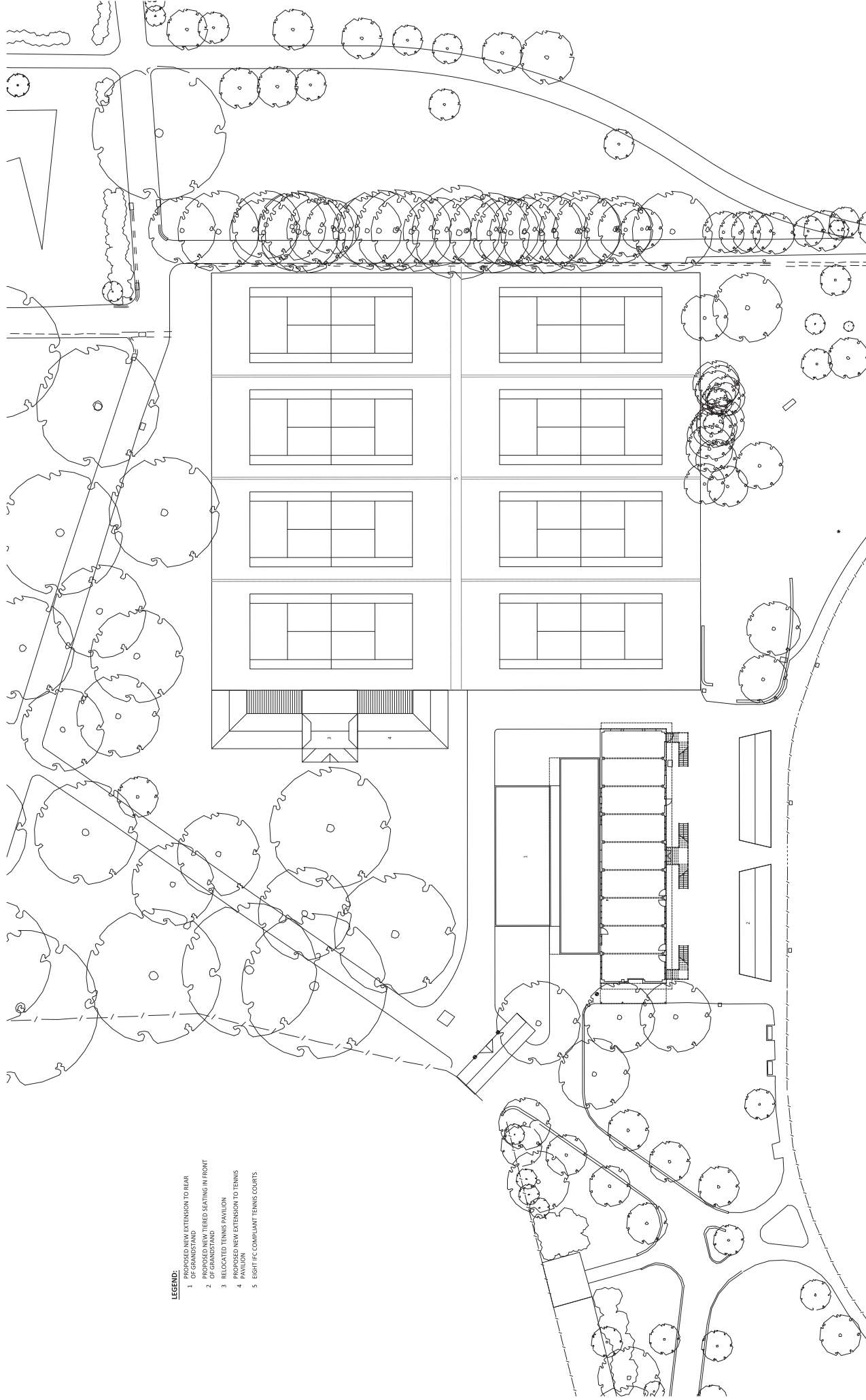




- LEGEND:**
- ELEMENT TO BE DEMOLISHED
 - 1. NON-ORIGINAL FIT OUT TO BE REMOVED
 - 2. MAIN ELECTRICAL SWITCHGEARD TO BE RETAINED
 - 3. LATER EXTENSION TO BE DEMOLISHED
 - 4. TENNIS PAVILION TO BE RELOCATED
 - 5. LANDSCAPING TO BE REMOVED
 - 6. DRIVEWAY AND LANDSCAPING TO REAR OF GRANDSTAND TO BE REMOVED
 - 7. PATH AND AVENUE PLANTING TO NORTH OF GRANDSTAND TO BE REMOVED

NOT FOR CONSTRUCTION

NO.	DATE	REVISION	PROJECT	DRAWING TITLE	SCALE	REVISION
			FEASIBILITY STUDY			
			DESIGNED BY	CHECKED BY	PROJECT NO.	DATE
			BM	AMT	7965	JUNE 2019
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- LEGEND:**
- 1. PROPOSED NEW EXTENSION TO REAR OF GRANDSTAND
 - 2. PROPOSED NEW TIERED SEATING IN FRONT OF GRANDSTAND
 - 3. RELOCATED TENNIS PAVILION
 - 4. PROPOSED NEW EXTENSION TO TENNIS PAVILION
 - 5. EIGHT FC COMPLIANT TENNIS COURTS

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NO.	DATE	REVISION
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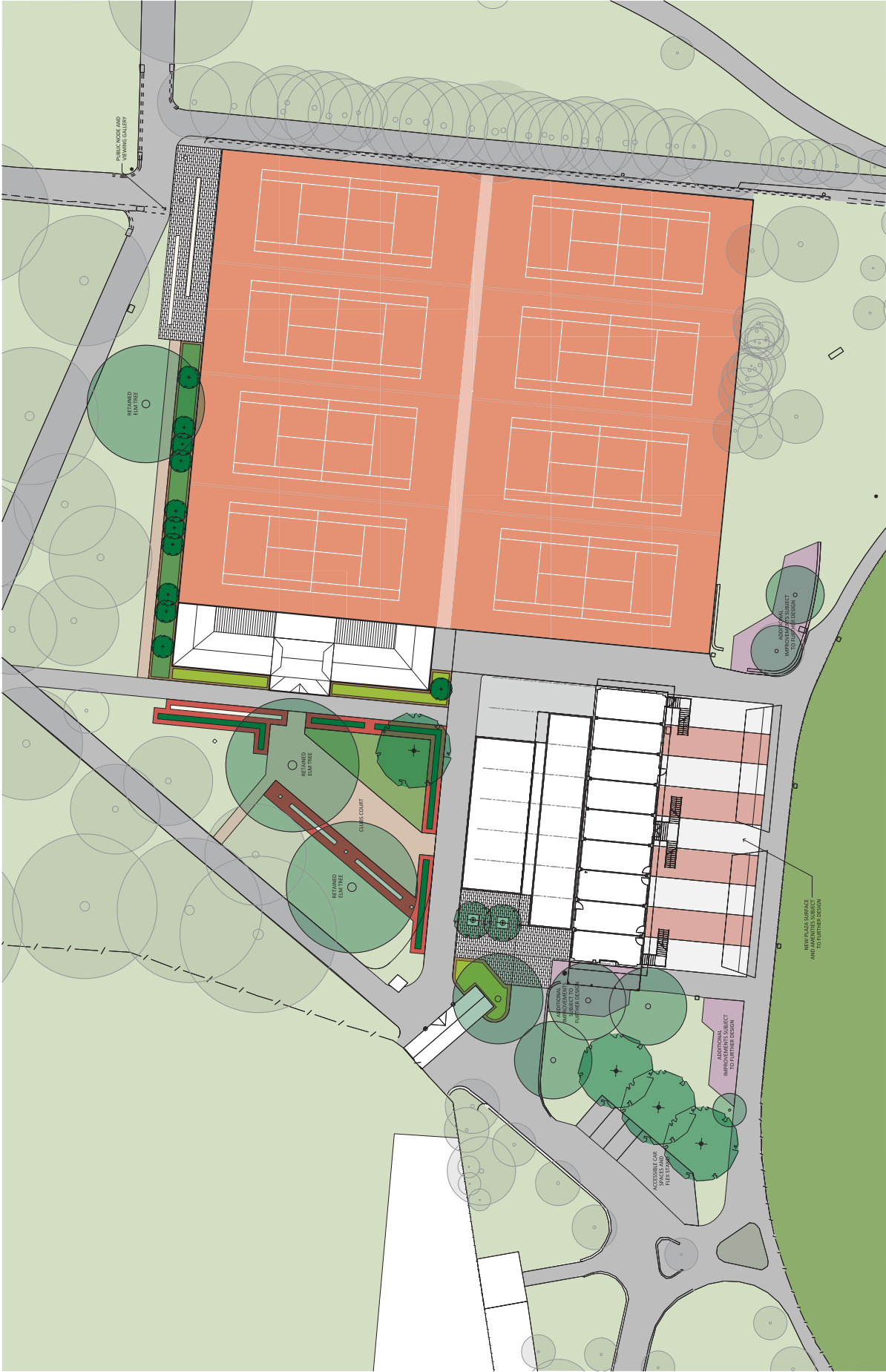
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PROJECT: BRUNSWICK ST OVAL PRECINCT
FEASIBILITY STUDY

DRAWN: BM **CHECKED:** AMT **PROJECT NO.:** 7965 **DATE:** JUNE 2019

DRAWING NO.: CD-04 **REVISION:** A



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NO.		DATE	REVISION
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BRUNSWICK STREET OVAL PRECINCT
PROPOSED LANDSCAPE CONCEPT

DRAWING TITLE
SCALE 1:500 @ A1
DRAWING NO. CO07
FIGURE CONCEPT PLAN
DATE JUNE 2019
PROJECT NO. 7505
CHECKED AMT
DRAWN MC

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BRUNSWICK STREET OVAL PRECINCT
PROPOSED LANDSCAPE CONCEPT

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SCALE 1:500 @ A1
DRAWING NO. CO07
FIGURE CONCEPT PLAN
DATE JUNE 2019
PROJECT NO. 7505
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Brunswick Street Oval Precinct Project – Consultation Framework

Stakeholder	Consultation Methodology	Date/Time	Location	Consultant/Client Attendees	Connection
EGSC Clubs					
Edinburgh Cricket Club	Meeting with club appointed representatives	16 April 2019	Board Meeting	Anne-Marie Treweeke Stuart Whiley, President Brad S Shadbolt, Vice President Jane F Seeber, Secretary Nathan Hudson, Treasurer Nick Ward, Non-Executive Director	Sporting clubs that regularly utilise the precinct facilities
Fitzroy Football Club	Meeting with club appointed representatives	9 April 2019	Board Meeting	Anne-Marie Treweeke Joan Eddy, President Kate Nolan, Vice President Michael Smale, Treasurer Sharon Torney, Secretary Gabrielle Murphy, Director Michael Pickering, Director Rob Olney, Director David Leydon, Director	
Fitzroy Junior Football Club	Meeting with club appointed representatives	17 April 2019	Board Meeting	Anne-Marie Treweeke Phil Murdoch, President Matt Drew, Coaching Director Andy Hogan, Infrastructure	
Fitzroy Tennis Club	Meeting with club appointed representatives	24 April 2019	on site	Anne-Marie Treweeke Kerry Irwin, Manager Recreation and Leisure Viviane Harangozo, President Sarah-Jane Beavitt, Secretary Cheryl Coughlin, Vice-President Charles Tinney, Committee Michelle Stephens, Committee and Juniors Comp organiser Georgina Ashby, Committee Luke Devlin, Head Coach at Racquet Lab Wayne Stephens, member Nell White, member Chris Canavan, member Liz Morrow, member John Morrow, ex-member Jenny Clark, member and ex-president	
Edinburgh Gardens Community	NOTE: Requires 6 week lead in time to prepare key messaging and questions for the community, printed collateral, website etc.				
Public consultation	Your Say Yarra Project page https://www.yoursayyarra.com.au/	4-week consultation 23 April – 21 May 2019	YCC website		General public who use the Edinburgh Gardens, or precinct facilities
Public consultation	On site engagement activity	6 May 2019 3:30-6:30pm	on site	Anne-Marie Treweeke Steven Jackson, Coordinator Recreation Kerry Irwin, Manager Recreation and Leisure Ann Limbrey, Senior Project Manager Buildings YCC Comms staff	
Italian Fitzroy Senior Citizens	Meeting	Wednesday 15 May 2019		Anne-Marie Treweeke Ann Limbrey, Senior Project Manager Buildings Vincenzo Gaetano Barestra	Community group who use facilities
Positive Attitude Community Group	Invitation to community consultation on site	6 May 2019 3:30 – 6:30pm	on site	Anne-Marie Treweeke Steven Jackson, Coordinator Recreation Kerry Irwin, Manager Recreation and Leisure Ann Limbrey, Senior Project Manager Buildings YCC Comms staff	Community groups who regularly use facilities
Yarra Girl Guides					
Friends of Baucau					
Dance Therapy Association of Australia					
PNG Wontocks					
The Devonshire Society					

Stakeholder	Consultation Methodology	Date/Time	Location	Consultant/Client Attendees	Connection
Council Agencies/Stakeholders					
City of Yarra	Face to face meeting Lovell Chen to provide agenda	Thursday 28 March 2019 10:30 – 11:30am	345 Bridge Road, Richmond	Anne-Marie Treweeke Steven Jackson - Coordinator Recreation Kerry Irwin - Manager Recreation and Leisure Graham Davis - Manager Building and Asset Management Peter Moran - Coordinator Construction & Development Ann Limbrey - Senior Project Manager Glen Williams – Coordinator Streetscapes and Natural Values Blake Farmar-Bowers – Coordinator Recreation Michael Ward – Engagement Advisor – Housing and Homelessness	YCC staff who facilitate the use of the amenities, provide programmes or services that result in use of the buildings, or have carriage of the maintenance of the facilities
City of Yarra	Meeting on site	Tuesday 2 April 2019 2:00 – 3:00pm	On site	Steven Jackson - Coordinator Recreation Ann Limbrey, Senior Project Manager Buildings Patrick Orr – Coordinator Service Contracts Anne Polites-Bitta	
City of Yarra	Face to face meeting	Tuesday 9 April 2019 2:00 – 3:00pm	Collingwood Town Hall	Adrian Murphy – Manager Age & Disability Cheryle Gray – Coordinator Community Planning Frances Moloney – Coordinator Positive Aging Bridie Jones – Venues Coordinator Venues and Events	
External Stakeholders					
John O'Brien, Sports and Recreation Victoria	Phone interview	TBC		Anne-Marie Treweeke	
Kirsty Reedy, Women in Sport	Phone interview	TBC		Anne-Marie Treweeke	
Ken Barton, Tennis Victoria	Review information already provided			Anne-Marie Treweeke	
Edinburgh Gardens Bowls Club	Meeting	TBC		Anne-Marie Treweeke Dobe Newton Nikita Boon	

Stakeholder	Consultation Methodology	Date/Time	Location	Consultant/Client Attendees	Connection
Statutory Authorities					
Heritage Victoria	Pre-application meeting	On completion of concept design	On site	Anne-Marie Treweeke Suzanne Zahra Ann Limbrey Kerry Irwin	Permit authority
Yarra City Council Statutory Planner and Heritage Advisor	Pre-application meeting	On completion of concept design	YCC	Anne-Marie Treweeke Suzanne Zahra Ann Limbrey Kerry Irwin	Permit referral authority

EDINBURGH GARDENS TENNIS COURTS

COURT AUDIT



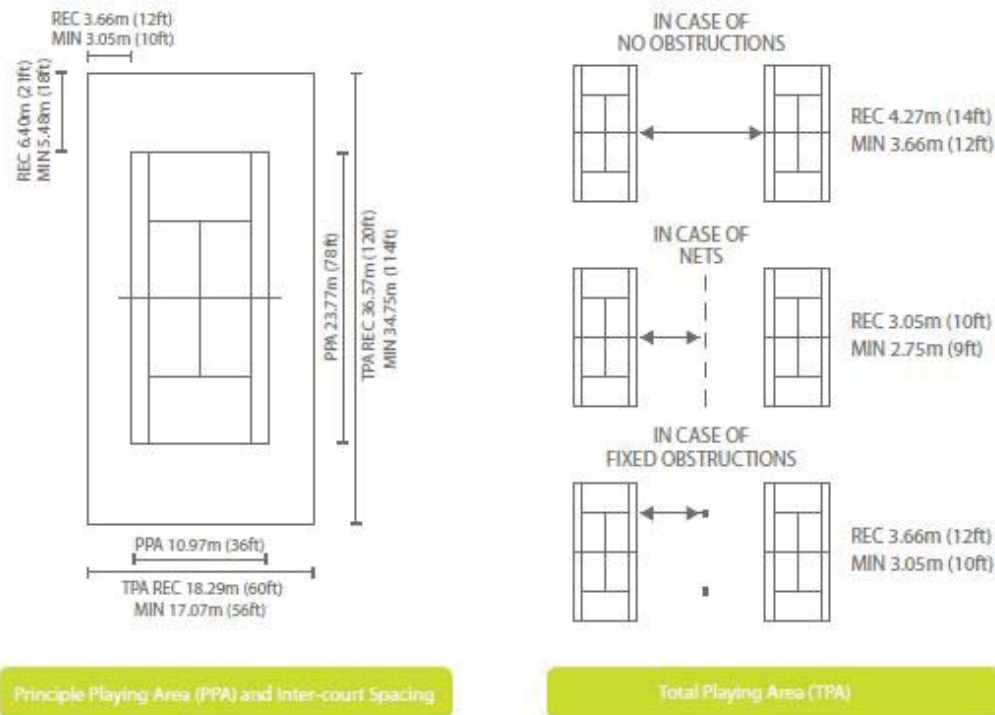
Client	City of Yarra
Site	Edinburgh Gardens
Location	Fitzroy North
Auditor	Landscape & irrigation Services
Audit date	20 May 2019

Site Summary	
Total number of enclosures	2
Total number of courts	6
Total number of floodlit courts	6
Total number of enclosed mini courts	Nil
Hierarchy	Club/Recreation

Dimension guide

For both recreational and club play (not to scale).

As a guide, the suggested recommended minimum and recommended dimensions for tennis courts are:



Typically runoffs & separation between courts **do not meet the minimum requirements** for Club/Recreation level as outlined above.

Court 1 – N end runoff is **0.54m less than** the minimum runoff requirements.

S end runoff is **0.57m less than** the minimum runoff requirements.

E side separation between Courts 1 & 2 is **0.86m less than** the minimum requirement.

NW side runoff is **0.43m less than** the minimum runoff requirements.

SW side runoff is 2.01 more than the minimum runoff requirements.

Court 2 – N end runoff is **0.54m less than** the minimum runoff requirements.

S end runoff is **0.56m less than** the minimum runoff requirements.

E side separation between Courts 2 & 3 is **0.86m less than** the minimum requirement.

W side separation between Courts 1 & 2 is **0.86m less than** the minimum requirement.

Court 3 – N end runoff is **0.54m less than** the minimum runoff requirements.

S end runoff is **0.58m less than** the minimum runoff requirements.

E side runoff is **0.19m less than** the minimum requirement.

W side separation between Courts 2 & 3 is **0.86m less than** the minimum requirement.

Court 4 – NE end runoff is 1.78m more than the minimum runoff requirements.

NW end runoff is **2.18m less than** the minimum runoff requirements.

S end runoff is **1.32m less than** the minimum runoff requirements.

E side separation between Courts 4 & 5 is 0.04m more than the minimum requirement.

With netting in place, E side separation between Courts 4 & 5 is **0.9m less than** the minimum requirement.

W side runoff is 0.37m more than the minimum requirement.

Court 5 – NE end runoff is 0.17m more than the minimum runoff requirements.

NW end runoff is **0.08m less than** the minimum runoff requirements.

S end runoff is 0.12m more than the minimum runoff requirements.

E side separation between Courts 5 & 6 is 0.09m more than the minimum requirement.

W side runoff is 0.04m more than the minimum requirement. *With netting in place, E side separation between Courts 5 & 6 is **0.9m less than** the minimum requirement.*

Court 6 – N end runoff is **0.17m more than** the minimum runoff requirements.

S end runoff is 0.12m more than the minimum runoff requirements.

*E side runoff is **0.53m less than** the minimum requirement.*

W side runoff is **0.09m more than** the minimum requirement. *With netting in place, W side separation between Courts 5 & 6 is **0.9m less than** the minimum requirement.*

Court Lighting

Standard of play	Average Initial Lux level	Average Maintained Lux level *	Minimum average uniformity
Social Play	310 Lux	250 Lux	0.6
Club Competition	435 Lux	350 Lux	0.6
International	1250 Lux	1000 Lux	0.7

* after lamp burn-in and allowance for lamp depreciation and dust build-up.

Lighting to courts 1-3 (which also partially service Courts 4-6) are nearing the end of their lifespan of 25 years. Lighting (north end) to Courts 4-6 is relatively new (ie less than 10 years old). Tennis court lighting has improved in recent years with the advent of LED luminaires. Benefits of LED include:

- Lower energy consumption
- Greater optical control
- Near-zero maintenance
- Improved uniformity
- Instant light (no warm-up or re-strike time)
- Longer lifetime

A lighting lux level test is required to confirm if lighting levels meet the above requirements. Also, light towers are located within the runoff zones of all courts. Note, protection to players is provided with padding to each tower.

Court & Ancillary Items Lifespan

Life cycle costs guidelines – surface costs per court (Feb 2011)

Surface	Expected Life	Average life	Possible replacement cost	Annual maintenance cost	Annual replacement cost	Total annual maintenance & replacement cost
Hot Mix Asphalt (30ml)	20 years	20 years	\$ 14,000 includes removal of existing asphalt (or Geotextile over existing)	\$ 200	\$ 700	\$900
Acrylic (3 coats)	8-10 years	9 years	\$ 8,000	\$ 300	\$ 900	\$1,200
Sand filled Artificial Grass	7-14 years	11 years	\$ 20,000	\$ 1,100	\$ 1,800	\$2,900
Red porous	20 years	20 years	\$ 30,000 Includes auto irrigation	\$ 6,000 (includes labour)	\$ 1,500	\$7,500
Natural Clay	25 years	25 years	\$ 40,000	\$ 7,000	\$ 1,600	\$ 8,600

Life cycle cost guide – ancillary items – per court (Feb 2011)

Surface	Expected Life	Average life	Possible replacement cost	Annual maintenance cost	Annual replacement cost	Total annual maintenance & replacement cost
Net	7 years	5 years	\$300	\$20	\$ 50	\$70
Posts/ winders	15 years	15 years	\$450	\$20	\$30	\$50
Lights	25 years	25 years	\$12,000	\$400	\$600	\$2,300
Fencing (single court)	25 years	25 years	\$15,000	\$200	\$0	\$200
Fencing (4 courts in a row costed per court)	25 years	25 years	\$8,000	\$200	\$320	\$520

Court Fencing

Typically fencing is in good condition and relatively new (ie less than 10years old). The oldest section of fencing on the south side of the site is nearing the end of its lifespan of 25 years. It is still serviceable but **will need replacement within 5-7 years**.

Court Surfaces

Enclosure 1 court surfaces are typically in good condition with a good coverage of court material. Surfaces are level with no apparent undulations or worn areas.

Enclosure 2 court surfaces are typically in fair condition. Whilst there are no apparent undulations or worn areas, the courts show signs of mildew/mould spotting and the surface is in need of rejuvenation/maintenance. The surface is approaching the lower end of its expected lifespan of 7-14 years.

Tennis Australia recommends falls between 1% & 1.5% for courts. **A survey is required to confirm if court falls meet the above requirements.**

Both enclosures fall to the south and drainage infrastructure is located at the south ends of both Enclosures. Drainage infrastructure was observed at the outfalls to be functioning. **Drainage pits are located within runoff areas in Enclosure 1. Trench drainage is located within the runoff area in Court 4 - Enclosure 2.**

Court Accessibility

Court accessibility was accessed in accordance with the requirements of Australian Standard AS 1428.1-2009 'Design Access and mobility' Part 1 and Part 2.'

Access to the facility is via a self closing, coded entry gate. The surface within the facility, leading from the main entrance to the courts, is relatively flat. Materials consist of brick paving from main entrance to the courts.

The Standard requires 'Accessways, walkways, ramps and landing shall have – (a) an unobstructed width of not less than 1000mm.... and shall be constructed with no lip or step at joints between abutting surfaces. NOTE a construction tolerance of up to 5mm is acceptable using rounded or beveled edges.

Access to both Enclosures is via a fenced passageway (1.07m – 2.54m wide) between Enclosures 1 & 2. Court 1 can be accessed directly from the brick paving. The remaining courts are accessed from a brick ramp leading to the passageway. The passageway meets the minimum width requirements of the Standard, ***however fails in being an unobstructed width***. It was observed, particularly in the wider section of the passageway, furniture obstructing access through the passageway. Also access from the passageway to Enclosure 1 courts is ***hindered by a 150mm step down to the courts***.

Ancillary Items

Linemarking, nets & net posts are typically in good condition and are fit for purpose.

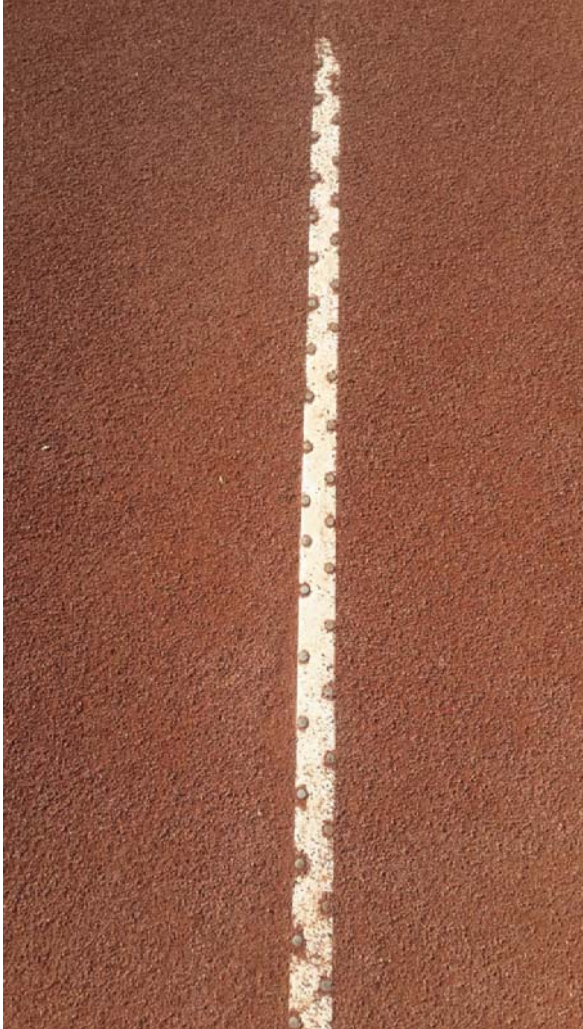

The location of hose bibs, drinking fountains and sprinklers in the vicinity of net posts is considered to be a hazard to players. Ideally these would be located, where possible, below ground and/or outside court runoff zones.



DETAILED ASSESSMENTS	
Enclosure 1	
Number of courts in enclosure	3
Courts size	Full
Number of enclosed mini courts	0
Surface type in enclosure	Red Porous
Court base in enclosure	Crushed rock
Overall base rating	Good

Court 1	
Surface Condition	
Surface type	Red Porous
Surface condition rating	Good. No worn areas visible.
Surface life span	10+ years
Court condition notes	The court is in good condition. Court material is adequate and even across the court. There are no apparent undulations or worn areas.
Court condition photos	






VIEW FROM NW CORNER OF COURTS 1 TO SE CORNER OF COURT 3



Linemarking – Court 1	
Line marking description	Tennis only lines
Linemarking rating	Good
Linemarking condition notes	The lines are standard for red porous courts and there are no obvious signs of breakages.
Linemarking condition photos	
	
<i>BASELINE COURT 1</i>	<i>SIDELINE COURT 1</i>

Net Posts – Court 1	
Net post type	Square powder coated steel installed directly into pavement.
Net post condition	Good, posts straight
Net post winders	Collapsible winders
Net condition	Good
Net structure	Net tethered to posts and centre strap fitted.
Net post life span	6-10 years
Net life span	6-10 years
Net/post notes	Posts and nets are generally in good condition.
Net/post photos	
 <p>A photograph showing a net post and the net structure on a red dirt court. The net is black and the post is square powder coated steel. The net is tethered to the post and the centre strap is fitted.</p>	 <p>A close-up photograph of the net attachment mechanism on a red dirt court. The net is black and the post is square powder coated steel. The net is tethered to the post and the centre strap is fitted.</p>
NET & POST COURT 1	CENTRE NET ATTACHMENT COURT 1

Court Compliance – Court 1	
Is the court runoff compliant	North: 4.94m to fence South: 4.91m to fence East: 2.80m to Court 2 West: 2.62m N end, 5.06m S end
Could the court be made compliant	No. Due to existing infrastructure (ie mounds to the south, and trees, drainage channel and footpath to the east) this would not be recommended due to considerable cost in both tree loss and expenditure.
Is the court to the standard dimensions	Yes
Court orientation	North south
Are netball goal posts outside tennis court run of areas?	Not applicable
Are lockable post hole covers fitted and safe	No
Compliance notes	The court runoffs do not meet the minimum requirements for Club/recreation use. On the east side a timber deck encroaches into the runoff area. This could be removed to achieve compliance.
Compliance photos	
	
<i>ENCROACHMENTS INTO RUNOFF ZONE WEST SIDE COURT 1</i>	


Fencing – Court 1	
Fence type	N end - black PVC chainwire, S end - galvanized chainwire.
Fence height	2.85m N end, 3.50m S end
Fence rails	Top & bottom rails NW end 2 panels only.
Fence attachments	2.20m high green site screen S end.
Fence condition rating	N end - good, S end - fair -.
Fence lifespan	N end – 10+ years, S end 5-7 years
Fence notes	N end fencing is relatively new and should provide long maintenance free life. S end fencing is serviceable and is fit for purpose.
Fencing photos	
 <p><i>FENCING ALONG NORTH END COURT 1</i></p>	 <p><i>FENCING ALONG SOUTH END COURT 1</i></p>



Drainage – Court 1	
Drainage infrastructure	Formed
What type of drainage is in place?	Grated pits with PVC drainage pipes.
Are drains, pits or other drainage infrastructure within runoff areas?	Yes, GP at S end.
Drainage condition	Fair. GP holding water
Drainage notes	GP is holding water. Cleanout SW pipe and pit to improve drainage. Check invert levels to determine if SW pipe fall is sufficient.
Drainage photos	
	
<p>GRATED DRAINAGE PIT SOUTH END COURT 1</p>	




Lighting – Court 1	
Does the enclosure have lighting?	Yes
Total number of lit courts per enclosure	3
Lighting infrastructure type	Galvanized steel poles
Lighting infrastructure location	N & S corners and mid enclosure N & S ends.
Light fittings	Varies, 1 per SW cnr tower, 2 per S mid enclosure tower, 2 per NW cnr tower, 4 per NE mid enclosure tower.
Lighting infrastructure design	Fair, position of mid enclosure lights unlikely to achieve required lux levels.
Lighting infrastructure rating	Fair
Lighting infrastructure life span	5+ years
Lighting notes	Light towers covered with padding to 2m. A lighting lux level test should be undertaken to determine if lux levels are appropriate.
Lighting photos	
 <p><i>VIEW FROM NW CORNER OF COURT 1 LOOKING SOUTH</i></p>	 <p><i>VIEW FROM NW CORNER OF COURT 1 LOOKING EAST</i></p>


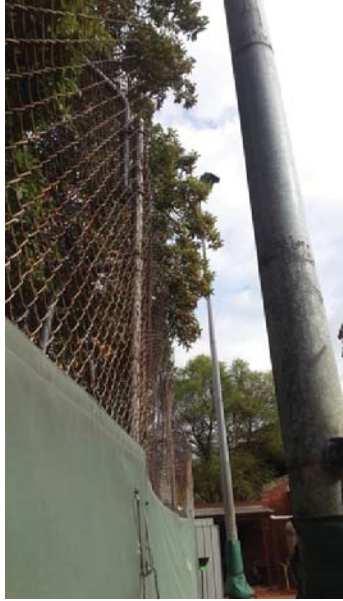
Accessibility – Court 1	
Court enclosure accessibility	Access to the enclosure via formed paths. No trip hazards observed. Ramped access no required.
Path material	Brick
Main gate dimensions	1050mm
Accessibility notes	The enclosure can be accessed from brick paving leading to red porous surface. A brick/concrete edge, at paving level, separates courts from adjacent paving.
Accessibility photos	
 <p>ACCESS TO COURTS 1-3 VIA BRICK PAVING</p>	 <p>ACCESS TO COURT 1</p>
Maintenance & Risk management – Court 1	
Court	Continue to maintain good court surface coverage.
Drainage	Investigate why GP's are holding water.
Infrastructure	Generally good. Southern boundary fence will need replacement in 5-7 years.
Lighting	Conduct a lighting lux level test
Safety issues – Court 1	
Are there any critical safety Issues	Yes. Relocate existing sprinklers (located next to net posts) either outside court runoffs or install in below ground valve box. Drinking fountains should be relocated outside court runoffs.
Enclosure recommendations	


Enclosure 1	
Court 2	
Surface Condition	
Surface type	Red Porous
Surface condition rating	Good. No worn areas visible.
Surface life span	10+ years
Court condition notes	The court is in good condition. Court material is adequate and even across the court. There are no apparent undulations or worn areas.
Court condition photos	
	
VIEW FROM NW CORNER OF COURTS 1 TO SE CORNER OF COURT 3	

Linemarking – Court 2	
Line marking description	Tennis only lines
Linemarking rating	Good
Linemarking condition notes	The lines are standard for red porous courts and there are no obvious signs of breakages.
Linemarking condition photos	
	
BASELINE COURT 2	

Net Posts – Court 2	
Net post type	Square powder coated steel installed directly into pavement.
Net post condition	Good, posts straight
Net post winders	Collapsible winders
Net condition	Good
Net structure	Net tethered to posts and centre strap fitted.
Net post life span	6-10 years
Net life span	6-10 years
Net/post notes	Posts and nets are generally in good condition.
Net/post photos	
 <p>NET POST COURT 2</p>	 <p>CENTRE NET ATTACHMENT COURT 2</p>

Court Compliance – Court 2	
Is the court runoff compliant	North: 4.94m to fence South: 4.92m to fence East: 2.80m to Court 3 West: 2.80m to Court 2
Could the court be made compliant	No. Due to existing infrastructure (ie mounds to the south, and trees, drainage channel and footpath to the east) this would not be recommended due to considerable cost in both tree loss and expenditure.
Is the court to the standard dimensions	Yes
Court orientation	North south
Are netball goal posts outside tennis court run of areas?	Not applicable
Are lockable post hole covers fitted and safe	No
Compliance notes	The court runoffs do not meet the minimum requirements for Club/recreation use.
Compliance photos	
 <p>VIEW TO COURT 2 LOOKING EAST</p>	
 <p>VIEW ALONG EAST SIDE OF ENCLOSURE 1 SHOWING RESTRICTIONS TO EXTENDING FOOTPRINT</p>	 <p>VIEW ALONG SOUTH SIDE OF ENCLOSURE 1 SHOWING RESTRICTIONS TO EXTENDING FOOTPRINT</p>

Fencing – Court 2	
Fence type	N end - black PVC chainwire, S end - galvanized chainwire.
Fence height	2.85m N end, 3.50m S end
Fence rails	Top & bottom rails NW end 2 panels only.
Fence attachments	2.20m high green site screen S end.
Fence condition rating	N end - good, S end - fair.
Fence lifespan	N end – 10+ years, S end 5-7 years
Fence notes	N end fencing is relatively new and should provide long maintenance free life. S end fencing is serviceable and is fit for purpose.
Fencing photos	
 <p><i>NORTH END COURT 2 FENCING</i></p>	 <p><i>SOUTH END COURT 2 FENCING</i></p>

Drainage – Court 2	
Drainage infrastructure	Formed
What type of drainage is in place?	Grated pits with PVC drainage pipes.
Are drains, pits or other drainage infrastructure within runoff areas?	Yes, GP at S end.
Drainage condition	Fair. GP holding water
Drainage notes	GP is holding water. Cleanout SW pipe and pit to improve drainage. Check invert levels to determine if SW pipe fall is sufficient.
Drainage photos	
 <p><i>GRATED DRAINAGE PIT AT SOUTH END OF COURT 1</i></p>	

Lighting – Court 2	
Does the enclosure have lighting?	Yes
Total number of lit courts per enclosure	3
Lighting infrastructure type	Galvanized steel poles
Lighting infrastructure location	N & S corners and mid enclosure N & S ends.
Light fittings	Varies. 1 per SE cnr tower, 2 per S mid enclosure tower, 2 per NE cnr tower, 4 per N mid enclosure tower.
Lighting infrastructure design	Fair, position of mid enclosure lights unlikely to achieve required lux levels.
Lighting infrastructure rating	Fair
Lighting infrastructure life span	5+ years
Lighting notes	Light towers covered with padding to 2m. A lighting lux level test should be undertaken to determine if lux levels are appropriate.
Lighting photos	






VIEW FROM NW CORNER OF COURT 1 LOOKING SOUTH





NORTH END MID ENCLOSURE 1 LIGHT TOWER



Accessibility – Court 2	
Court enclosure accessibility	Access to the enclosure via formed paths. No trip hazards observed. Ramped access no required.
Path material	Brick
Main gate dimensions	1050mm
Accessibility notes	The enclosure can be accessed from brick paving leading to red porous surface. A brick/concrete edge, at paving level, separates courts from adjacent paving. The court can also be access via the passageway between Enclosures 1 & 2.
Accessibility photos	
 <p>NORTHERN ACCESS TO COURTS 2-3</p>	 <p>NORTHERN GATE ACCESS TO COURT 2</p>
Maintenance & Risk management	
Court	Continue to maintain good court surface coverage.
Drainage	Investigate why GP's are holding water.
Infrastructure	Generally good. Southern boundary fence will need replacement in 5-7 years.
Lighting	Conduct a lighting lux level test
Safety issues	
Are there any critical safety Issues	Yes. Relocate existing sprinklers (located next to net posts) either outside court runoffs or install in below ground valve box. Drinking fountains should be relocated outside court runoffs
 <p>COURT 2 NET POST WITH SPRINKLER ATTACHED</p>	
Enclosure recommendations	


Enclosure 1	
Court 3	
Surface Condition	
Surface type	Red Porous
Surface condition rating	Good. No worn areas visible.
Surface life span	10+ years
Court condition notes	The court is in good condition. Court material is adequate and even across the court. There are no apparent undulations or worn areas.
Court condition photos	
	
<i>VIEW FROM NW CORNER OF COURTS 1 TO SE CORNER OF COURT 3</i>	


Linemarking – Court 3	
Line marking description	Tennis only lines
Linemarking rating	Good
Linemarking condition notes	The lines are standard for red porous courts and there are no obvious signs of breakages.
Linemarking condition photos	
 <p>SERVICE LINE LINEMARKING COURT 3 SOUTH END</p>	 <p>CENTRE SERVICE LINE COURT 3</p>

Net Posts – Court 3	
Net post type	Square powder coated steel installed directly into pavement.
Net post condition	Good, posts straight
Net post winders	Collapsible winders
Net condition	Good
Net structure	Net tethered to posts and centre strap fitted.
Net post life span	6-10 years
Net life span	6-10 years
Net/post notes	Posts and nets are generally in good condition.
Net/post photos	
	
NET & POSTS WITH SPRINKLER & HOSE BIBS BETWEEN COURTS 2 & 3	CENTRE NET ATTACHMENT COURT 3

Court Compliance – Court 3	
Is the court runoff compliant	North: 4.92m to fence South: 4.90m to fence East: 2.86m to fence West: 2.80m to Court 3
Could the court be made compliant	No. Due to existing infrastructure (ie mounds to the south, and trees, drainage channel and footpath to the east) this would not be recommended due to considerable cost in both tree loss and expenditure.
Is the court to the standard dimensions	Yes
Court orientation	North south
Are netball goal posts outside tennis court run of areas?	Not applicable
Are lockable post hole covers fitted and safe	No
Compliance notes	The court runoffs do not meet the minimum requirements for Club/recreation use.
Compliance photos	
 <p><i>NORTH END RUNOFF COURT 3</i></p>	 <p><i>EAST SIDE RUNOFF COURT 3</i></p>

Fencing – Court 3	
Fence type	N end - black PVC chainwire, S end - galvanized chainwire.
Fence height	2.85m N end, 3.50m S end
Fence rails	Top & bottom rails NW end 2 panels only.
Fence attachments	2.20m high green site screen S end.
Fence condition rating	N end - good, S end - fair.
Fence lifespan	N end – 10+ years, S end 5-7 years
Fence notes	N end fencing is relatively new and should provide long maintenance free life. S end fencing is serviceable and is fit for purpose.
Fencing photos	
 <p><i>EAST SIDE FENCE COURT 3</i></p>	 <p>SOUTH END FENCE COURT 3</p>

Drainage – Court 3	
Drainage infrastructure	Formed
What type of drainage is in place?	Grated pits with PVC drainage pipes.
Are drains, pits or other drainage infrastructure within runoff areas?	Yes, GP at S end.
Drainage condition	Fair. GP holding water
Drainage notes	GP is holding water. Cleanout SW pipe and pit to improve drainage. Check invert levels to determine if SW pipe fall is sufficient.
Drainage photos	
	
OUTFALL TO COURTS 1-3 DRAINAGE INFRASTRUCTURE (EAST SIDE)	



Lighting – Court 3	
Does the enclosure have lighting?	Yes
Total number of lit courts per enclosure	3
Lighting infrastructure type	Galvanized steel poles
Lighting infrastructure location	N & S corners and mid enclosure N & S ends.
Light fittings	Varies. 1 per SE cnr tower, 2 per S mid enclosure tower, 2 per NE cnr tower, 4 per N mid enclosure tower.
Lighting infrastructure design	Fair, position of mid enclosure lights unlikely to achieve required lux levels.
Lighting infrastructure rating	Fair
Lighting infrastructure life span	5+ years
Lighting notes	Light towers covered with padding to 2m. A lighting lux level test should be undertaken to determine if lux levels are appropriate.
Lighting photos	
	
<i>MID ENCLOSURE 1 NORTH LIGHT TOWER</i>	

Accessibility – Court 3	
Court enclosure accessibility	Access to the enclosure via formed paths. No trip hazards observed. Ramped access no required.
Path material	Brick
Main gate dimensions	1050mm
Accessibility notes	The enclosure can be accessed from brick paving leading to red porous surface. A brick/concrete edge, at paving level, separates courts from adjacent paving. The court can also be access via the passageway between Enclosures 1 & 2.
Accessibility photos	
 <p>NORTHERN ACCESS TO COURT 3</p>	 <p>NORTHERN GATE ACCESS TO COURT 3 NOTE LIP RESTRICTING EGRESS</p>
Maintenance & Risk management – Court 3	
Court	Continue to maintain good court surface coverage.
Drainage	Investigate why GP's are holding water.
Infrastructure	Generally good. Southern boundary fence will need replacement in 5-7 years.
Lighting	Conduct a lighting lux level test
Safety issues – Court 3	
Are there any critical safety Issues	Yes. Relocate existing sprinklers (located next to net posts) either outside court runoffs or install in below ground valve box. Drinking fountains should be relocated outside court runoffs.
Enclosure recommendations	


Enclosure 2	
Number of courts in enclosure	3
Courts size	Full
Number of enclosed mini courts	0
Surface type in enclosure	Synthetic grass
Court base in enclosure	Concrete
Overall base rating	Fair

Court 4	
Surface Condition	
Surface type	Synthetic grass
Surface condition rating	Fair. Mildew/mould spotting in parts of the court.
Surface life span	10+ years
Court condition notes	Regular maintenance of courts recommended including mould/mildew removal. There are no apparent worn areas.
Court condition photos	
	
VIEW LOOKING FROM NW CORNER COURT 4 TO SE CORNER COURT 6	


Linemarking – COURT 4	
Line marking description	Tennis only lines
Linemarking rating	Good
Linemarking condition notes	The lines are standard for synthetic courts and are clearly visible with sharp edges.
Linemarking condition photos	
	
<i>BASELINE CORNER COURT 4</i>	<i>BASELINE COURT 4</i>

Net Posts – COURT 4	
Net post type	Square powder coated steel installed directly into pavement.
Net post condition	Good, posts straight
Net post winders	Collapsible winders
Net condition	Good
Net structure	Net tethered to posts and centre strap fitted.
Net post life span	10+ years
Net life span	10+ years
Net/post notes	Posts and nets are generally in good condition.
Net/post photos	
 <p>NET COURT 4</p>	 <p>CENTRE NET ATTACHMENT COURT 4</p>

Court Compliance – COURT 4	
Is the court runoff compliant	NW cnr 3.30m to fence, NE cnr 7.26 to fence South: 4.16 to fence East: 3.70 to Court 5 West: 3.42 to fence
Compliance notes	The NW cnr & South end back of court runoffs do not meet Club/recreation minimum requirements ie 5.48m. Netting between Courts 4 & 5 do not meet minimum requirements for netting between courts ie 2.75m.
Could the court be made compliant	No due to existing infrastructure (ie angled footpath to the north) restricting the footprint of the courts being extended to the north.
Is the court to the standard dimensions	Yes
Court orientation	North south
Are netball goal posts outside tennis court run of areas?	Not applicable
Are lockable post hole covers fitted and safe	Yes
Compliance photos	
 <p><i>RUNOFF RESTRICTION DUE TO PROXIMITY OF PARK FOOTPATHS</i></p>	 <p><i>RUNOFF RESTRICTION DUE TO PROXIMITY OF PARK FOOTPATHS</i></p>


Fencing – COURT 4	
Fence type	Black PVC chainwire.
Fence height	2.85m N end, 3.50m S end, 1.0m W side..
Fence rails	Top & bottom rails.
Fence attachments	Nil
Fence condition rating	Good
Fence lifespan	10+ years
Fence notes	All fencing is relatively new, is fit for purpose and in good condition.
Fencing photos	
 <p>LOW FENCING EAST SIDE COURT 4</p>	 <p>NORTH END FENCE COURT 4</p>

Drainage – COURT 4	
Drainage infrastructure	Formed
What type of drainage is in place?	Trench grate South end.
Are drains, pits or other drainage infrastructure within runoff areas?	No.
Drainage condition	Good
Drainage notes	Trench grating is intact, level and in good condition. Trench grating channel not holding water.
Drainage photos	
	
TRENCH GRATE ALONG SOUTH END COURTS 4-6	

Lighting – COURT 4	
Does the enclosure have lighting?	Yes
Total number of lit courts per enclosure	3
Lighting infrastructure type	Powder coated steel poles
Lighting infrastructure location	N & S corners and mid enclosure N & S ends.
Light fittings	Varies, 2 per SW cnr tower, 4 per S mid enclosure tower, 1 per NW cnr tower, 2 per NE mid enclosure tower.
Lighting infrastructure design	Fair, position of mid enclosure S end lights unlikely to achieve required lux levels.
Lighting infrastructure rating	Good
Lighting infrastructure life span	10+ years
Lighting notes	Light towers covered with padding to 2m. A lighting lux level test should be undertaken to determine if lux levels are appropriate.
Lighting photos	
	

LIGHTING NORTH END COURTS 4 & 5

Accessibility – COURT 4	
Court enclosure accessibility	Access to the enclosure via formed paths. No trip hazards observed. Ramped access provided to court access pathway.
Path material	Brick
Main gate dimensions	1500mm
Accessibility notes	The enclosure can be accessed from brick paving leading to a 1.1m wide access path along the S end of the courts. The courts are accessed via a gate between Courts 4 & 5.
Accessibility photos	
	
	<p><i>LIP RESTRICTING ACCESS TO COURT 4</i></p> <p><i>ACCESS TO COURTS 4-6</i></p>
Maintenance & Risk management	
Court	Undertake regular maintenance of courts including mould/mildew removal.
Drainage	Nil
Infrastructure	Improve access to court by removing lip and providing ramp at court entrance.
Lighting	Conduct a lighting lux level test
Safety issues	
Are there any critical safety Issues	Yes. Relocate existing drinking fountains/hose bibs (located next to net posts) outside court runoffs.
Enclosure recommendations	


Enclosure 2	
Court 5	
Surface Condition	
Surface type	Synthetic grass
Surface condition rating	Fair. Mildew/mould spotting in parts of the court.
Surface life span	10+ years
Court condition notes	The court is in fair condition. Regular maintenance of courts recommended including mould/mildew removal. There are no apparent worn areas.
Court condition photos	
	
<i>BASELINE COURT 5 SOUTH END SHOWING MILDEW/MOULD SPOTTING</i>	

Linemarking – COURT 5	
Line marking description	Tennis only lines
Linemarking rating	Good
Linemarking condition notes	The lines are standard for synthetic courts and are clearly visible with sharp edges.
Linemarking condition photos	
	
<i>NORTH END LINEMARKING LOOKING EAST</i>	

Net Posts – COURT 5	
Net post type	Square powder coated steel installed directly into pavement.
Net post condition	Good, posts straight
Net post winders	Collapsible winders
Net condition	Good
Net structure	Net tethered to posts and centre strap fitted.
Net post life span	10+ years
Net life span	6-10 years
Net/post notes	Posts and nets are in good condition.
Net/post photos	
	
NET POST COURT 5	CENTRE NET ATTACHMENT COURT 5


Court Compliance – COURT 5	
Is the court runoff compliant	NW cnr 5.40m to fence, NE cnr 5.65m to fence South: 5.60 to fence. East: 3.75 to Court 6. West: 3.70 to Court 4.
Compliance notes	The NW cnr back of court runoff does not meet Club/recreation minimum requirements ie 5.48m. Netting between Courts 4 & 5 do not meet minimum requirements for netting between courts ie 2.75m.
Could the court be made compliant	No due to existing infrastructure (ie footpath to the north) restricting extending the footprint of the courts to the north.
Is the court to the standard dimensions	Yes
Court orientation	North south
Are netball goal posts outside tennis court run of areas?	Not applicable
Are lockable post hole covers fitted and safe	No
Compliance photos	
	
<i>NORTH END COURT 5 LOOKING EAST</i>	<i>SOUTH END COURT 5 LOOKING WEST</i>


Fencing – COURT 5	
Fence type	Black PVC chainwire, netting to E side.
Fence height	3.60m N end, 3.00m S end, 1.0m W side, 2.5m E side.
Fence rails	Top & bottom rails.
Fence attachments	Nil.
Fence condition rating	Good.
Fence lifespan	10+ years
Fence notes	Fencing is relatively new and should provide long maintenance free life for 10+ years.
Fencing photos	
 <p><i>SOUTH END FENCING COURT 5</i></p>	 <p><i>NETTING BETWEEN COURTS 4 & 5</i></p>

Drainage – COURT 5	
Drainage infrastructure	Formed
What type of drainage is in place?	Trench grate South end.
Are drains, pits or other drainage infrastructure within runoff areas?	No
Drainage condition	Good
Drainage notes	Trench grating is intact, level and in good condition. Trench grating channel not holding water.
Drainage photos	
 <p><i>TRENCH GRATING SOUTH END</i></p>	


Lighting – COURT 5	
Does the enclosure have lighting?	Yes
Total number of lit courts per enclosure	3
Lighting infrastructure type	Galvanized steel poles
Lighting infrastructure location	N & S corners and mid enclosure N & S ends.
Light fittings	Varies, 2 per SW cnr tower, 4 per S mid enclosure tower, 1 per NW cnr tower, 2 per NE mid enclosure tower.
Lighting infrastructure design	Fair, position of mid enclosure S end lights unlikely to achieve required lux levels.
Lighting infrastructure rating	Fair
Lighting infrastructure life span	5+ years
Lighting notes	Light towers covered with padding to 2m. A lighting lux level test should be undertaken to determine if lux levels are appropriate.
Lighting photos	
 <p>COURT 5 SOUTH END LIGHTING</p>	 <p>COURT 5 NORTH END LIGHTING</p>



Accessibility – COURT 5	
Court enclosure accessibility	Access to the enclosure via formed paths. No trip hazards observed. Ramped access not required.
Path material	Brick/synthetic grass.
Main gate dimensions	1450mm
Accessibility notes	The enclosure can be accessed from brick paving leading to synthetic grass surface passageway. Maintain clear passageway for disabled access by fixing furniture in place.
Accessibility photos	
 <p>ACCESS TO COURTS 4-6</p>	 <p>ACCESS GATE TO COURTS 4-6</p>
Maintenance & Risk management	
Court	Continue to maintain good court surface coverage.
Drainage	Investigate why GP's are holding water.
Infrastructure	
Lighting	Conduct a lighting lux level test
Safety issues	
Are there any critical safety Issues	Yes. Relocate existing drinking fountains/hose bibs (located next to net posts) outside court runoffs.
Enclosure recommendations	



Enclosure 2	
Court 6	
Surface Condition	
Surface type	Synthetic grass.
Surface condition rating	Fair. Mildew/mould spotting in parts of the court.
Surface life span	10+ years
Court condition notes	The court is in fair condition. Regular maintenance of courts recommended including mould/mildew removal. There are no apparent worn areas.
Court condition photos	
	
COURT 6 SOUTH END	

Linemarking – COURT 6	
Line marking description	Tennis only lines
Linemarking rating	Good
Linemarking condition notes	The lines are standard for synthetic courts and are clearly visible with sharp edges.
Linemarking condition photos	
	
BASELINE COURT 6	


Net Posts – COURT 6	
Net post type	Square powder coated steel installed directly into pavement.
Net post condition	Good, posts straight
Net post winders	Collapsible winders
Net condition	Good
Net structure	Net tethered to posts and centre strap fitted.
Net post life span	6-10 years
Net life span	6-10 years
Net/post notes	Posts and nets are generally in good condition.
Net/post photos	
	
POST & WINDER COURT 6	CENTRE NET ATTACHMENT COURT 6

Court Compliance – COURT 6	
Is the court runoff compliant	North: 5.65m to fence. South: 5.60m to fence. East: 3.13m to fence. West: 3.75m to Court 5.
Compliance notes	The court runoffs meet the minimum requirements for Club/recreation use.
Could the court be made compliant	Not applicable.
Is the court to the standard dimensions	Yes
Court orientation	North south
Are netball goal posts outside tennis court run of areas?	Not applicable.
Are lockable post hole covers fitted and safe	No
Compliance photos	
 <p><i>EAST SIDE COURT 6 RUNOFF</i></p>	

Fencing – COURT 6	
Fence type	Black PVC chainwire.
Fence height	3.60m N end, 3.00m S end, 3.6m E side.
Fence rails	Top & bottom rails NW end
Fence attachments	2.20m high black site screen E side and small advertising screen to NE corner..
Fence condition rating	Good.
Fence lifespan	10+ years
Fence notes	Fencing is relatively new and should provide long maintenance free life for 10+ years.
Fencing photos	
	
FENCING NE CORNER COURT 6	FENCING EAST SIDE COURT 6

Drainage – COURT 6	
Drainage infrastructure	Formed
What type of drainage is in place?	Trench grate South end
Are drains, pits or other drainage infrastructure within runoff areas?	No
Drainage condition	Good
Drainage notes	Trench grating is intact, level and in good condition. Trench grating channel not holding water.
Drainage photos	
 <p>GRATED DRAINAGE PIT & TRENCH GRATE SE CORNER COURT 6</p>	 <p>COURTS 4-6 DRAINAGE OUTFALL SE CORNER COURT 6</p>

Lighting – COURT 6	
Does the enclosure have lighting?	Yes
Total number of lit courts per enclosure	3
Lighting infrastructure type	Galvanized steel poles
Lighting infrastructure location	N & S corners and mid enclosure N & S ends.
Light fittings	Varies, 2 per SW cnr tower, 4 per S mid enclosure tower, 1 per NW cnr tower, 2 per NE mid enclosure tower.
Lighting infrastructure design	Fair, position of mid enclosure S end lights unlikely to achieve required lux levels.
Lighting infrastructure rating	Fair
Lighting infrastructure life span	5+ years
Lighting notes	Light towers covered with padding to 2m. A lighting lux level test should be undertaken to determine if lux levels are appropriate.
Lighting photos	
 <p><i>LIGHT TOWER NE CORNER COURT 6</i></p>	 <p><i>LIGHT TOWER NE CORNER COURT 6</i></p>

Accessibility – COURT 6	
Court enclosure accessibility	Access to the enclosure via formed paths. No trip hazards observed. Ramped access not required.
Path material	Brick/synthetic grass.
Main gate dimensions	1450mm
Accessibility notes	The enclosure can be accessed from brick paving leading to synthetic grass surface passageway. Maintain clear passageway for disabled access by fixing furniture in place.
Accessibility photos	
	
ACCESS RESTRICTIONS TO COURTS 4 - 6 DUE TO SEATING	
Maintenance & Risk management – COURT 6	
Court	Undertake regular maintenance of courts including mould/mildew removal.
Drainage	Nil
Infrastructure	Improve access to court by maintaining a clear passageway to the access gate.
Lighting	Conduct a lighting lux level test.
Safety issues – COURT 6	
Are there any critical safety Issues	Yes. Relocate existing drinking fountains/hose bibs (located next to net posts) outside court runoffs.
Enclosure recommendations	



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Industrial Lighting Efficiency Specialists

EXISTING LIGHT LEVELS REPORT

FOR

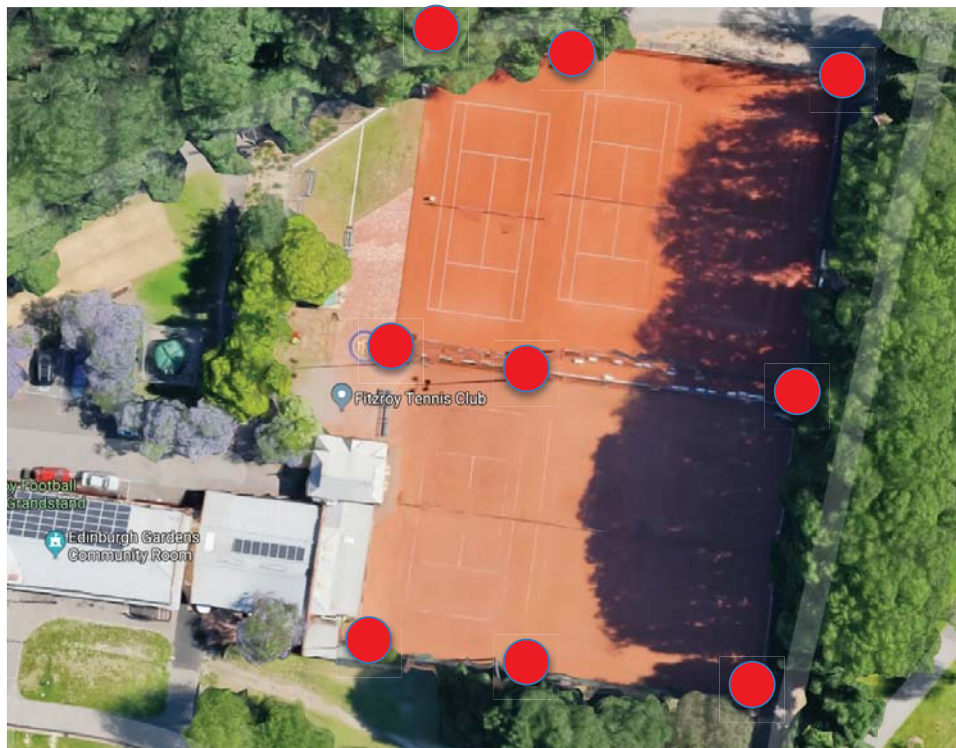
City of Yarra
Edinburgh Gardens Tennis Courts

4th July, 2019

Overview

Endura Light was contracted to assess the current light level at the tennis Courts in Fitzroy's Edinburgh Gardens as a preliminary step toward planning a lighting upgrade for the site. Endura Light visited the site and conducted light level assessments from 5.45pm on 1st July 2019.

Lighting for the courts is provided from 9 poles with positions as marked by the red dots below.



Lux Level Requirements

Australian Standard 2560.2.1: 2003 sets out guidance for Tennis Court lighting across 3 categories

- Recreational and residential
- Club competition and commercial
- International and national

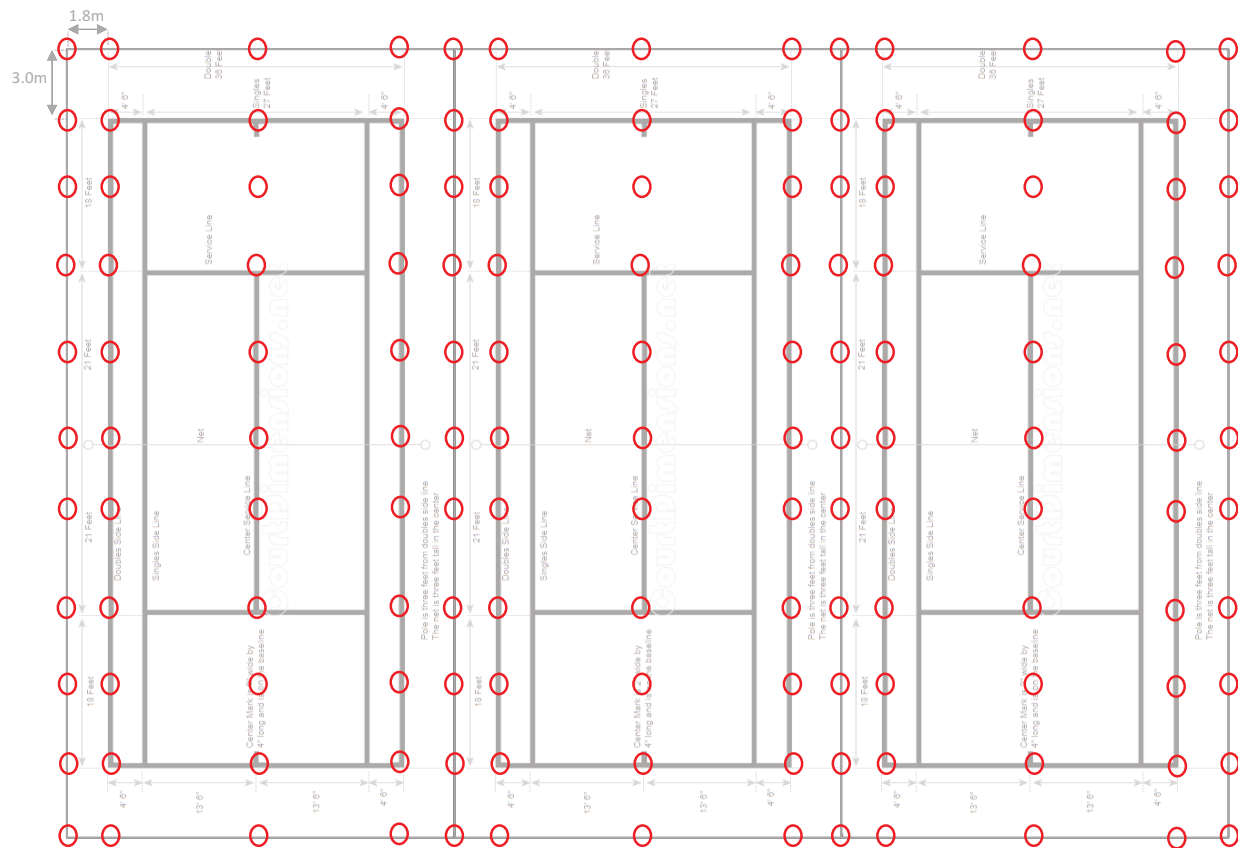
The Standard sets out maintained horizontal illuminance minimums, minimum uniformity and glare ratings for both the Principal Playing Area and Total Playing Areas.

As the courts at Edinburgh Gardens have only minimal court surface outside the Principal Playing Area the site assessment conducted measured light levels only within the Principal Playing Area. The applicable values for the PPA at 1.5m above ground level for Club competition and commercial are:

- 350 lux maintained average horizontal illuminance
- 0.6 U_1 uniformity (minimum to average illuminance ratio)
- 0.4 U_2 uniformity (minimum to maximum illuminance ratio)

Equipment & Method

Light readings were taken after dark in order to only measure artificial light from the installed LED fixtures. Readings were taken with a calibrated Testo Sense Testo 540 Lux Meter at 1.5m above ground level in a regular grid consistent across each court. Due to the close proximity of the “tramlines” from one court to the next, a single set of readings along this common boundary between the two PPA’s is applicable to both courts.



Measured Light Readings

The following lux readings were recorded on the reference grid as marked by the red circles on the court diagram:

				512	506	320	165	148	167	324	253	98
				850	800	413	215	190	208	376	402	330
465	495	560	837	722	680	530	192	175	206	333	332	249
604	622	714	740	585	530	300	141	150	177	263	256	185
650	709	724	583	450	350	165	95	95	117	118	141	122
550	637	545	425	200	166	123	65	75	58	152	152	136
373	462	323	278	280	275	162	91	79	105	137	144	119
188	258	216	265	340	385	255	140	106	165	160	173	149
280	292	312	438	490	490	350	210	143	178	206	205	154
373	429	576	688	691	638	410	268	196	221	262	259	180
427	522	739	866	840	806	570	280	246	238	306	320	255
499	594	710	842	851								
441	562	652	861	856								

369	602	721	331	369	389	477	214	192	208	366	402	210
538	602	668	906	761	677	349	254	269	281	425	428	365
488	599	798	802	778	481	412	229	248	275	433	362	290
473	575	792	721	693	556	401	223	207	220	362	285	260
456	547	704	609	588	665	348	188	167	178	256	237	181
309	479	402	557	522	760	270	161	159	153	219	202	156
377	431	612	630	592	571	275	189	188	187	271	194	165
359	432	684	791	769	752	450	232	241	233	338	237	197
411	480	727	892	869	898	553	287	285	261	375	288	251
385	509	726	848	874	838	503	303	261	247	408	351	269
121	266	298	553	642	625	362	185	213	230	333	143	115

These measurements can be summarised with the following statistics by court, spatially corresponding with the data table and diagram above:

	Court 1	Court 2	Court 3
Av Lux	539	339	194
Max	866	850	402
Min	188	65	58
U ₁	0.35	0.19	0.30
U ₂	0.22	0.08	0.14
	Court 4	Court 5	Court 6
Av Lux	582	436	260
Max	906	898	433
Min	121	159	115
U ₁	0.21	0.36	0.44
U ₂	0.13	0.18	0.27

The values in red text do not meet the minimum standards for Club Competition outlined in Australian Standard 2560.2.1: 2003. As can be seen from this statistical summary, four of the six courts do meet the minimum illuminance requirements, but none meet the uniformity standards.

*To take action to reduce electricity bills, maintenance costs
AND greenhouse gas emissions,
contact Endura Light.*

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APPENDIX D HAZARDOUS MATERIALS REPORTS

Division 6 Hazardous Materials Assessment Edinburgh Gardens Alfred Crescent Fitzroy North, Victoria

The City of Yarra

May 2019

Report to be provided separately



5 Burwood Road

Hawthorn VIC 3122

T: (03) 9508 0100

F: (03) 9509 6125

E: admin@prensa.com.au

ABN: 12 142 106 581

Job No: 31099 : Client No: Y0001

Preliminary Soil Contamination Assessment Edinburgh Gardens Fitzroy North, Victoria

City of Yarra

June 2019

Report to be provided separately



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Hawthorn VIC 3122

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Job No: 31099 Client No: Y0001

Soil Management Plan Edinburgh Gardens Fitzroy North VIC 3068

City of Yarra

June 2019

Report to be provided separately



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