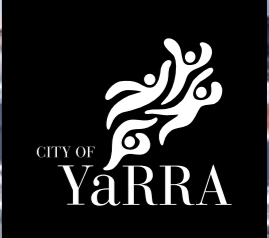


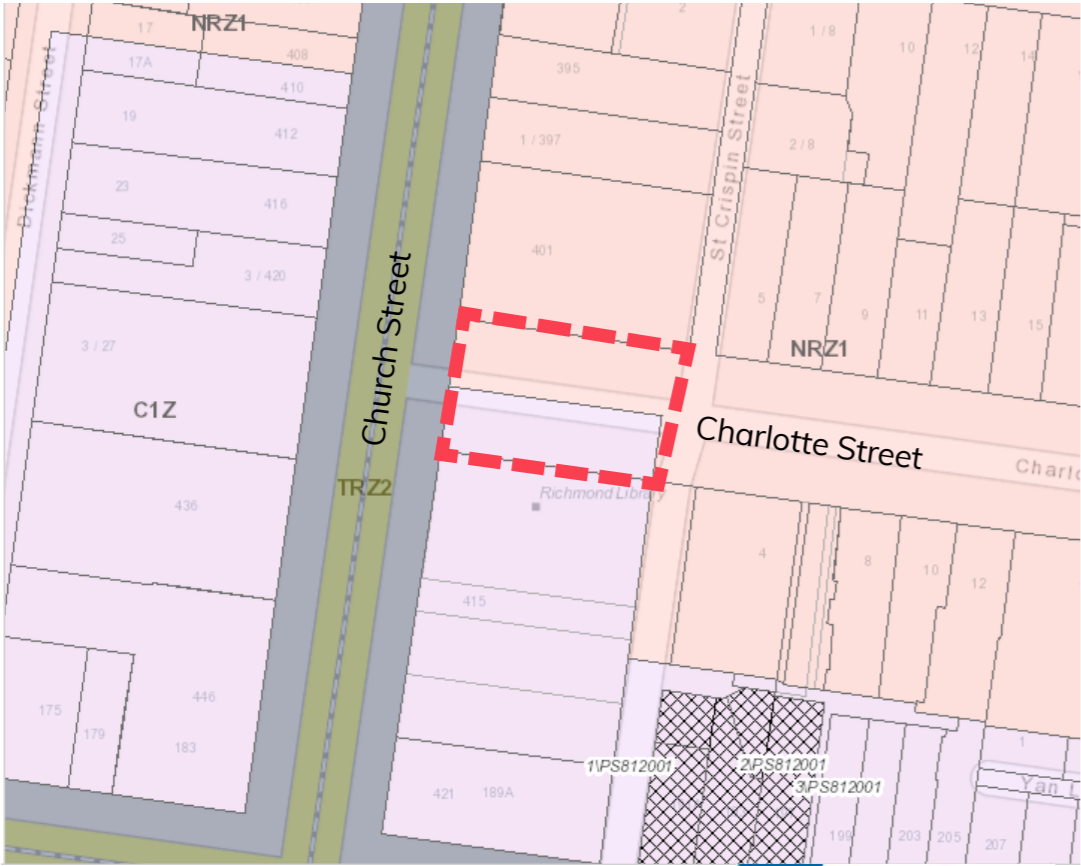
Charlotte Street Pocket Park Concept Plan Background Work

July 2023



1 Zoning and Overlay

Planning Zones



Key Zones

NRZ - Neighborhood Residential Zone

C1Z - Commercial 1 Zone

Planning Map

Zones

- Property**
- UNIQUE_PARCEL_PT_PROPOSED
 - Properties
 - Parcel
 - Properties proposed
 - Parcel proposed
 - All Zones
- Planning Scheme Zones**
- Residential Zones
- NRZ - Neighbourhood Residential Zone
 - GRZ - General Residential Zone
- Commercial Zones
- C1Z - Commercial 1 Zone
- Public Land Zones
- TRZ2 - Principal Road Network

Planning Overlays



Key Overlays

DDO5 - Design and Development Overlay

HO315 - Heritage Overlay

Planning Map

Overlays

- Property**
- UNIQUE_PARCEL_PT_PROPOSED
 - Properties
 - Parcel
 - Properties proposed
 - Parcel proposed
- Planning Scheme Overlays**
- Heritage and Built Form
- DDO - Design and Development Overlay
 - HO - Heritage Overlay
- Other Overlays
- DCPO - Development Contributions Plan Overlay



Plan not to scale

2 Central Richmond

Local Precinct Overview
cjhfhf

Local Precinct Overview



Aerial Nearmaps.com

Precinct Character



01 Swan Street, west of Church Street
Image by RWA 2022



02 Swan Street street life
Image by RWA 2022



03 Swan Street and Church Street intersection
Image by RWA 2022



04 Charlotte Street neighborhood character



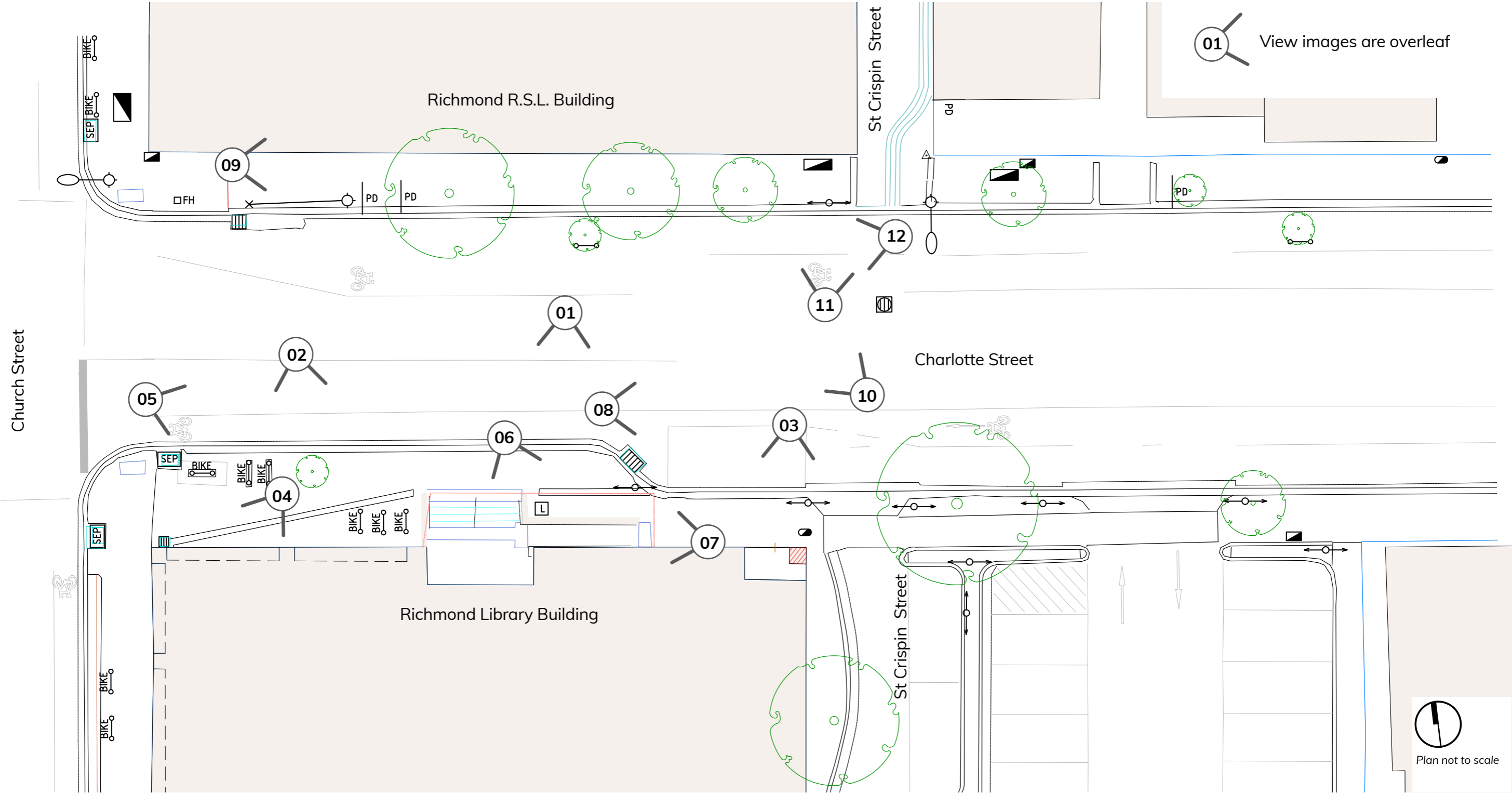
05 Richmond Library building entrance from Church Street
Image by RWA 2022



06 St Crispin Street view toward Charlotte Street from Swan Street
Image by RWA 2022

3 Existing Site Features and Conditions

Featur Survey



Site Images



01 Richmond Library entrance from Charlotte Street



02 Baby Guerrilla's artwork at Richmond Library
Image Fooks Landscape Architecture & Urban Design 2023



03 Library egress setback by the corner Charlotte Street and St Crispin Street



04 Library lower ground floor windows by corner Charlotte Street and Church Street



05 Pin oak (*Quercus palustris*), bike parking and seat by library entrance



06 Library entrance threshold, and paving marker indicating street earlier street alignment



07 Library entrance ramp



08 Accessible parking bay east of library entrance



09 Footpath and trees along the northern side of the site, existing light pole and stay wire



10 View towards the former Richmond RSL building



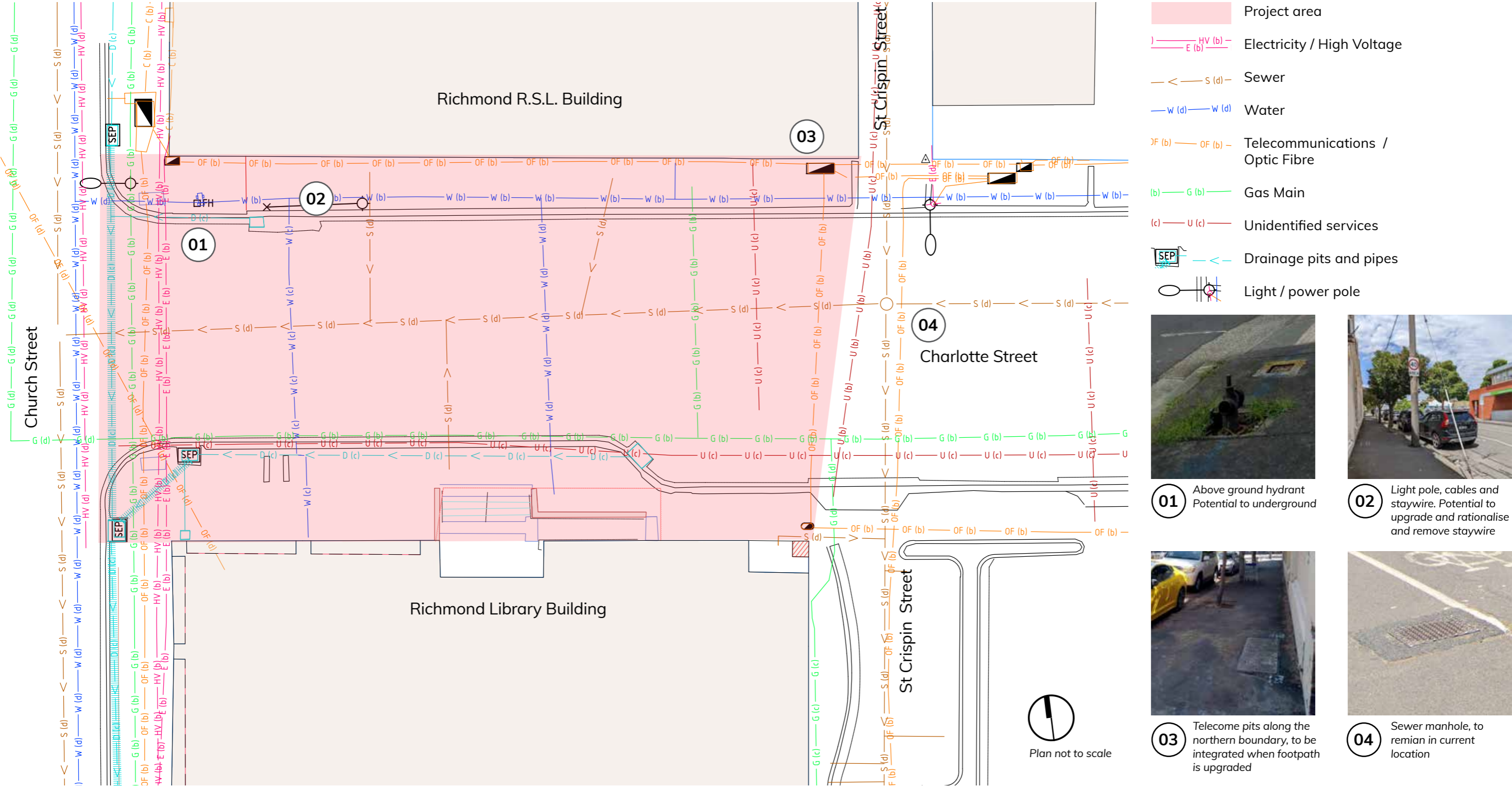
11 Typical existing footpath condition, bluestone kerb and pitcher channel



12 View towards the west, down to Church Street in the background

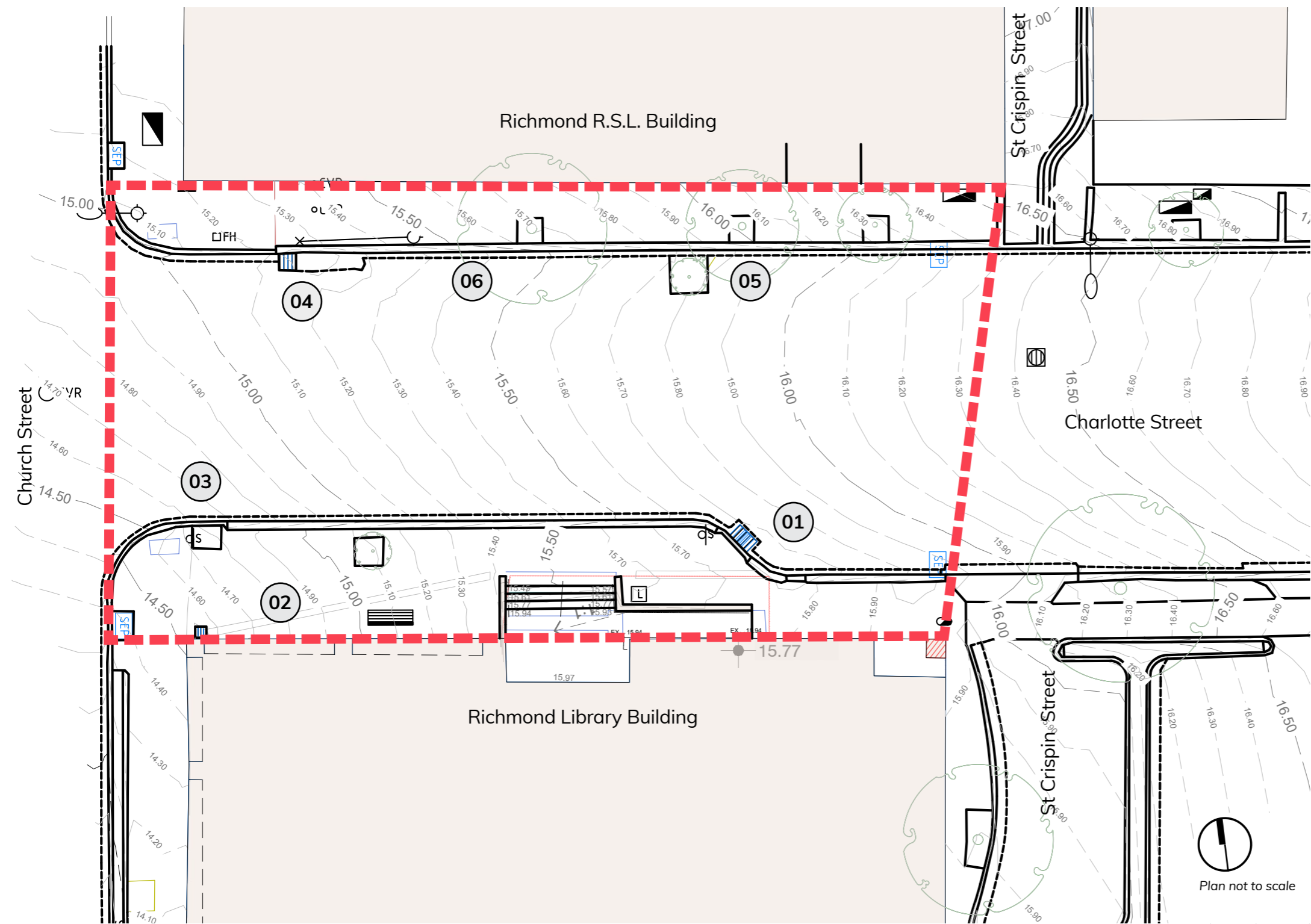
4 Existing Services and Utilities

Existing services and utilities plan based on site scanning



5 Existing Levels and Drainage Infrastructure

Site levels and drainage



01 Grated pit, by the existing DDA parking bay



02 Channel along the library lower ground floor windows



03 Side entry pit on the south west corner of the site



04 Grated pit north west corner of site



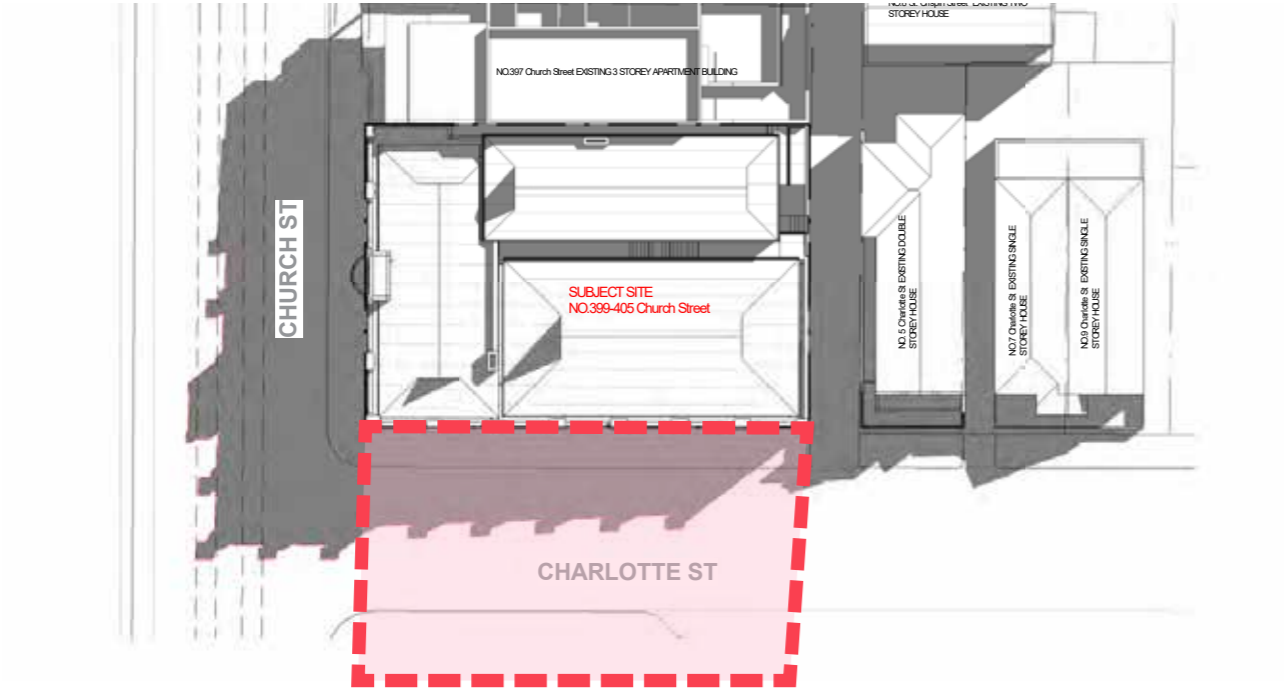
05 Three pitcher channel and bluestone kerb part of the site heritage fabric



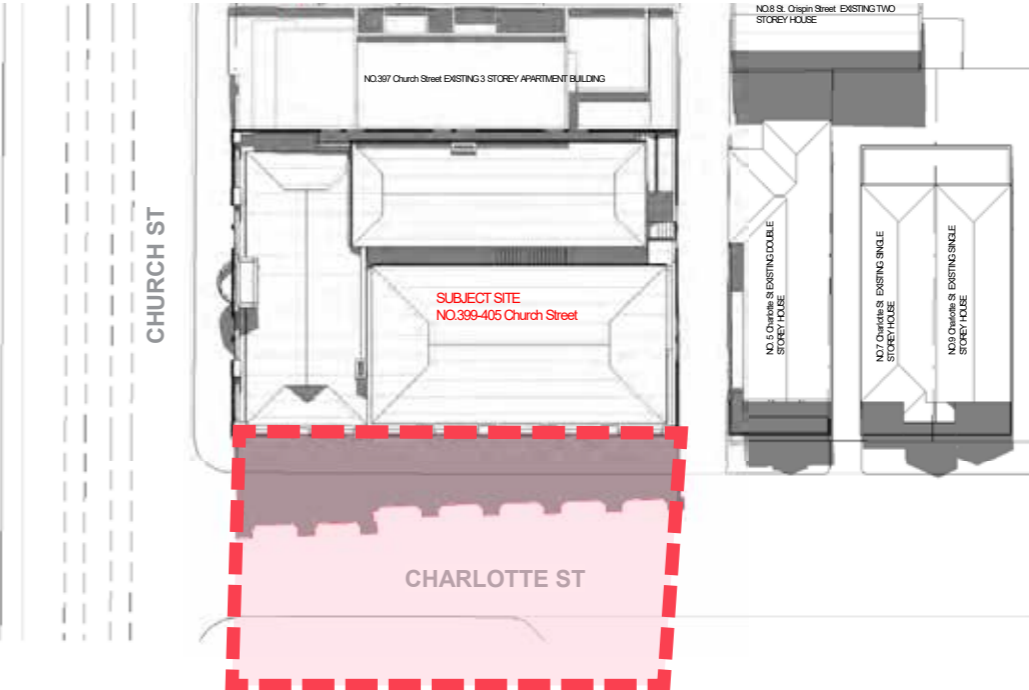
06 Stormwater discharge points along the northern channel from the adjacent property

6 Shadow Analysis @ Equinox*

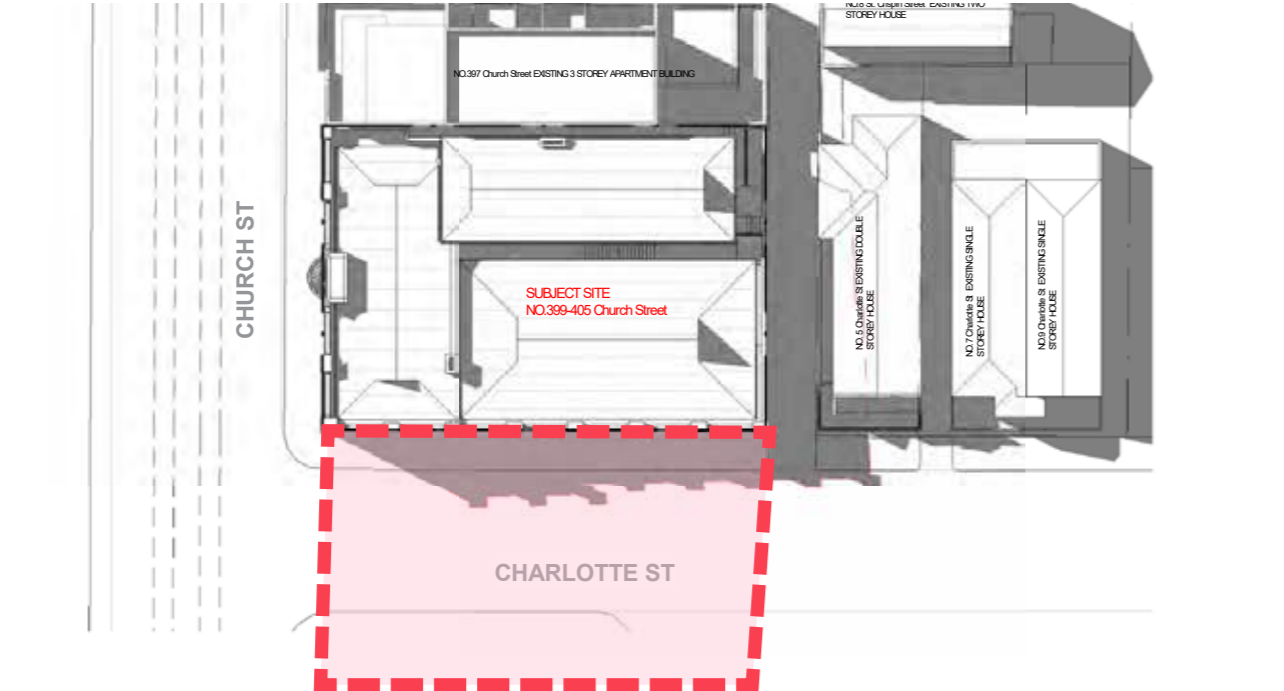
9am



12 noon



3pm



All shade diagrams are prepared by WH Architects Pty Ltd dated 25 August 2016 and form part of the permit documents for the redevelopment of the Richmond R.S.L. 399-405 Church Street, Richmond

Overshadowing

* The time or date (twice each year) at which the sun crosses the celestial equator, when day and night are of approximately equal length (about 22 September and 20 March).

- The landscape design will consider the shadow analysis when locating key areas to take advantage of the natural sun.
- Areas with deeper shade could have a higher proportion of hardscape
- Tree planting will use a mix of deciduous and ever green species to maximise light in winter and shade in summer.

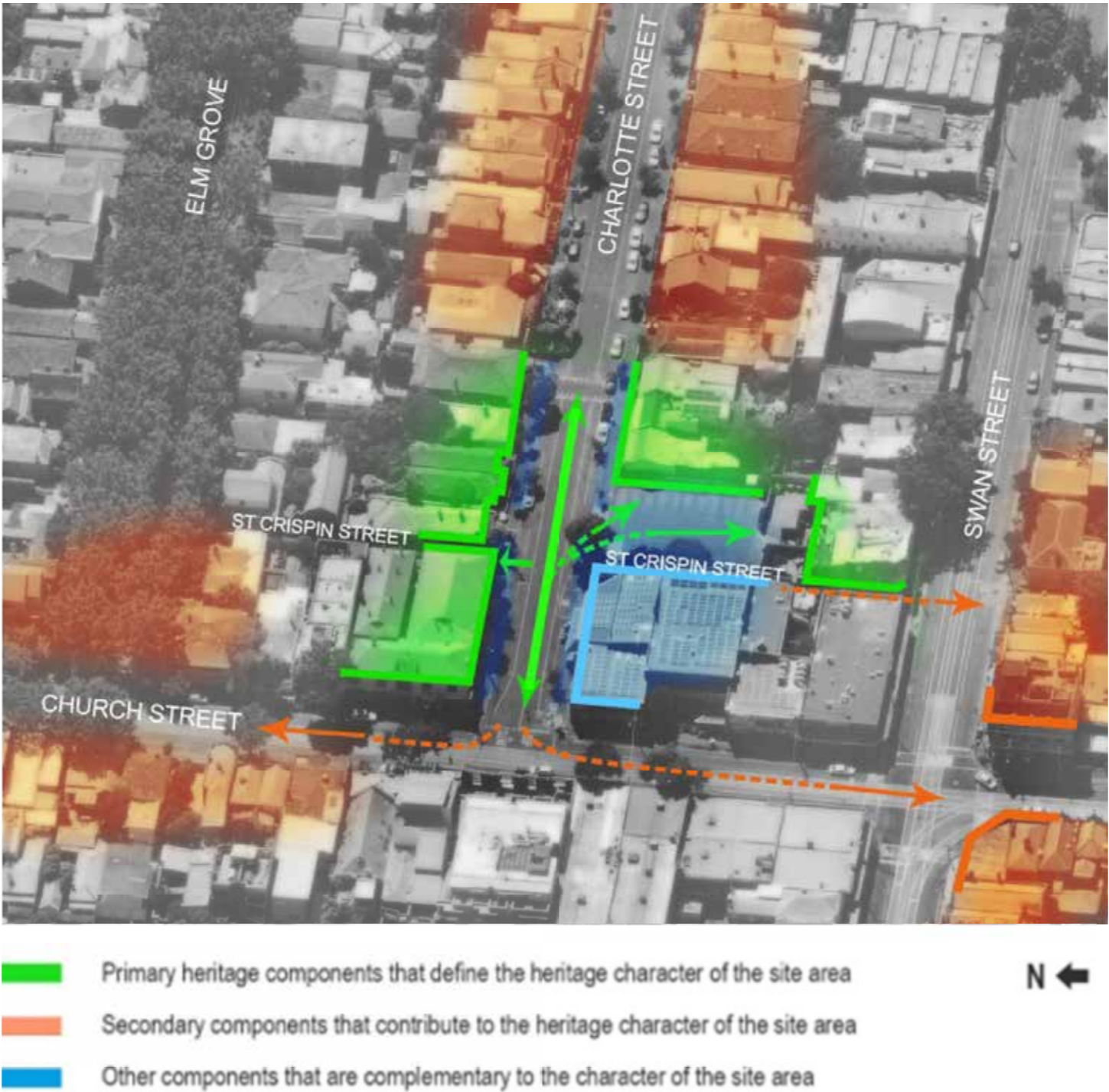
7 Heritage Advice

Charlotte Street Richmond Heritage Advice by GML Heritage June 2023

The subject site is a transitional space between the commercial and civic areas of Church Street (H0315 and H0335) and Swan Street (H0335) and the prevailing residential character of Charlotte Street (H0319).

It is not anticipated that the proposed provision of a new pocket park in Charlotte Street and any associated road closure at its Church Street end would diminish the heritage values of the HO precincts and the Individually Significant places (including the former Richmond RSL Hall and 191 Swan Street) visible from the site area, if heritage is carefully considered in the development of the design in accordance with the recommendations made in Section 5 of this report.

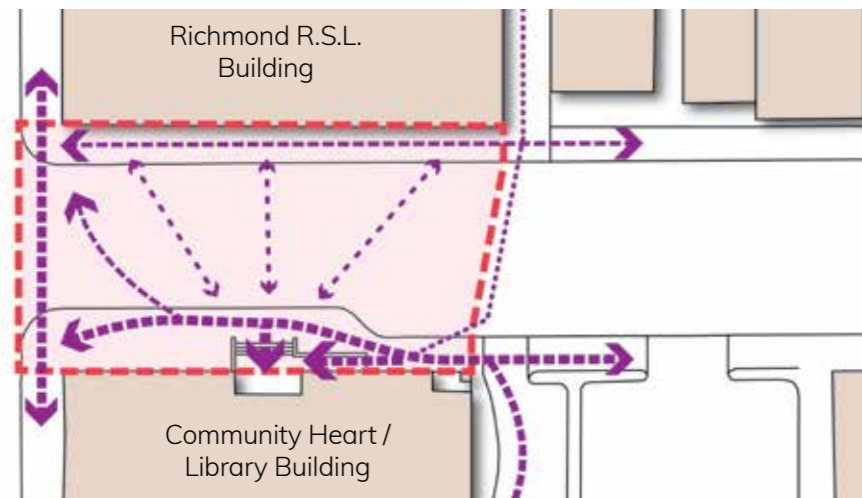
Carefully considered design responses should be developed in consultation with heritage experts during the pre-design and design phases of the project to ensure new structures and landscaping features enhance the site representation without diminishing the important view lines. Enhancing the appreciation of the heritage values of the site area through the integration of appropriate interpretation methods is also recommended.



Image; Page 18 Charlotte Street Heritage Advice by GML Heritage June 2023

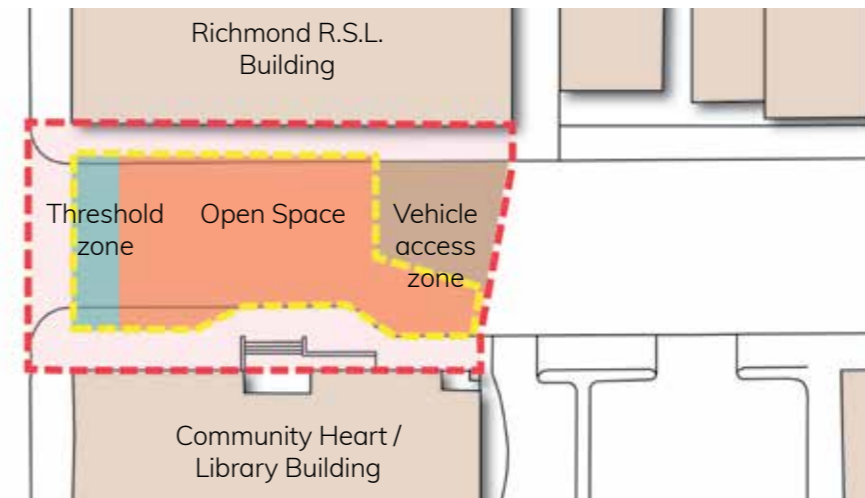
8 Design Drivers and Considerations

Improve Pedestrian Footpaths and Circulation



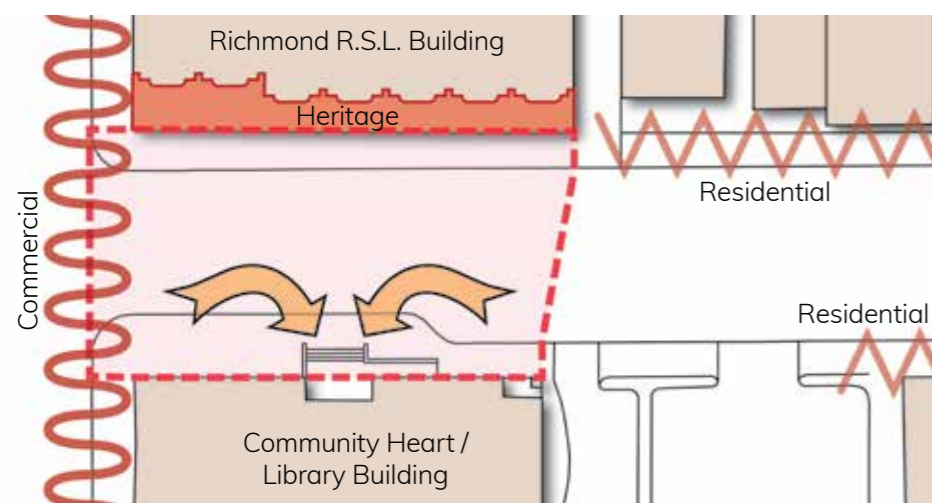
- Improve footpath connections
- Accommodate DDA parking bay in a suitable location and short stay parking bays for library users
- Create a continuous pedestrian footpath along Church Street
- Improve pedestrian safety
- Allow for pedestrian access through the site
- Integrate universal design principles

Maximise Useable Open Space



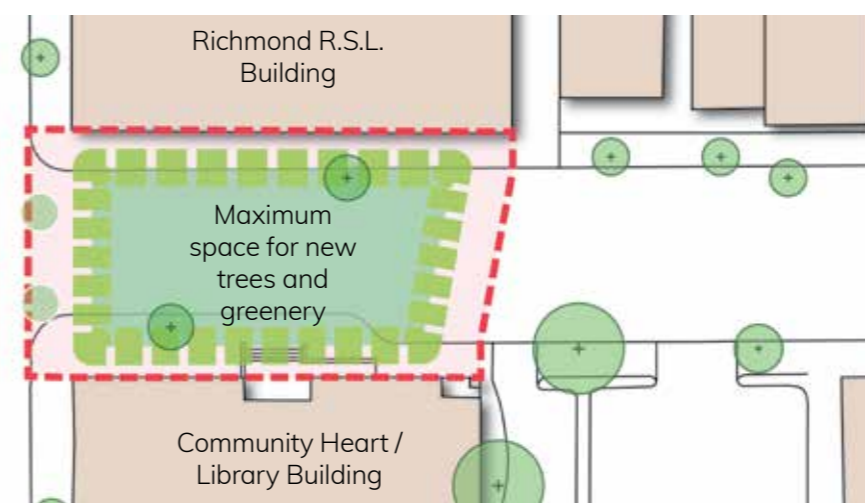
- Maximise open space footprint
- Create a threshold zone along Church St interface, to 'discourage children to run onto the street' Stage 1 Community Engagement Feedback
- Provide bike parking facilities at key locations around the perimeter of the site
- Integrate a vehicle access zone on the east side of the site
- Vehicle access zone, allowing for vehicle access if the R.S.L. is redeveloped

Complement Local Character and Streetscapes



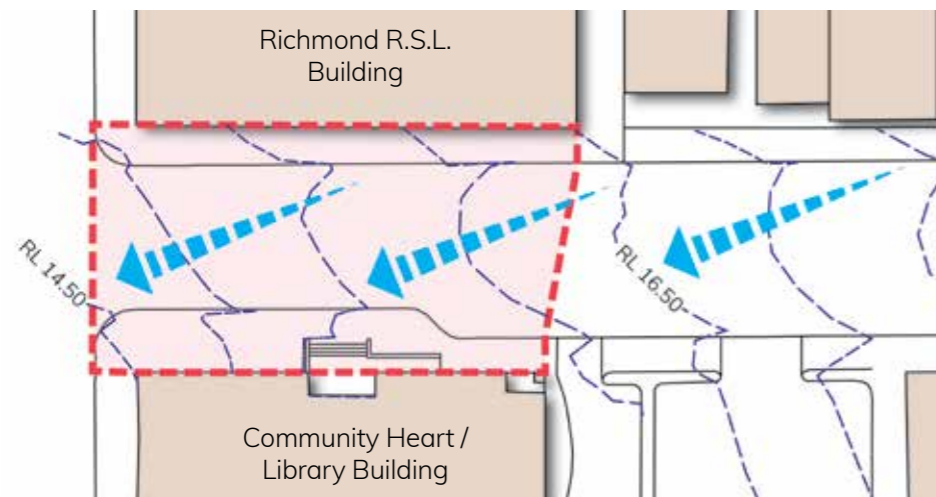
- Create 'The opportunity to borrow a book and read it outside, or take a break in the Pocket Park after a visit to the library' Stage 1 Community Engagement Feedback
- Enhance the civic setting and usages
- Compliment the heritage facade of the Richmond R.S.L. building
- Compliment the existing streetscape and heritage character of Charlotte Street and Church Street

Maximise Trees and Greenery



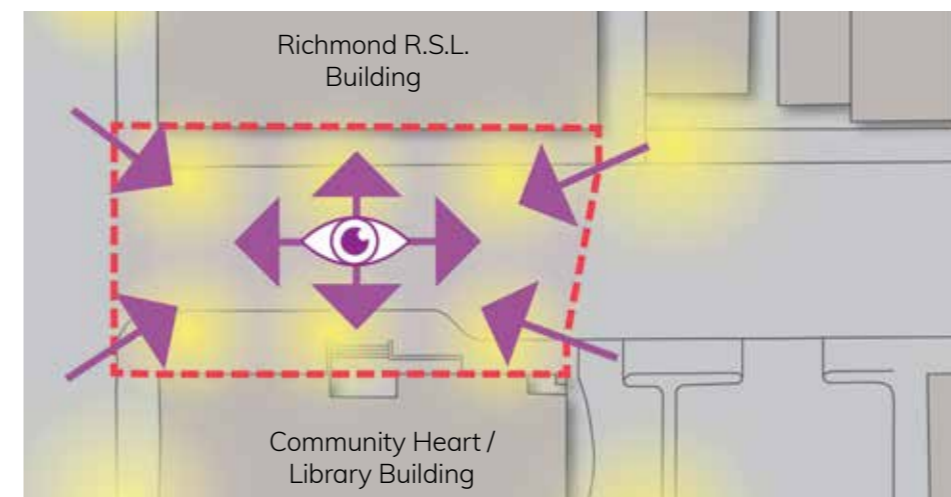
- Fulfill 'The desire from the community for plants, shade, and nature' Stage 1 Community Engagement Feedback
- Retain existing trees where possible
- Maximise opportunities for trees and greenery
- Integrated street trees along the interface to Church Street

Integrate Site Grade and Improve Surface Permeability



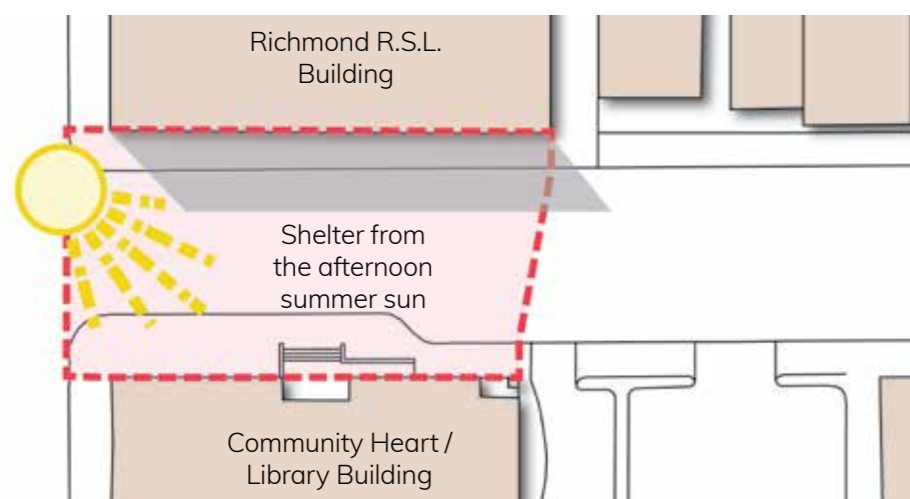
- The level difference is almost 2m between the eastpoint to the west / Church Street
- The level change will be integrated into the layout with minimal use of retaining walls
- Permeable surface areas will be maximised where possible to minimise surface water run off
- Surface grading will aim to maximise passive irrigation to planted areas

Create a Safe and Equitable Space



- Our goal is to create a welcoming environment that can be enjoyed by a diverse range of people
- The design takes into account Crime Prevention Through Environmental Design Principles (CPTED)
- Opportunities will be investigated to improve lighting
- Maximise open and clear sight-lines, into and through the space

Maximise Winter Sun and Summer Shade



- The adjacent R.S.L. building casts shade on to the northern section of the site
- The placement of trees will aim to maximise shade in summer and light in winter
- Seating locations will be considered in relation to sun and shade for maximum comfort

Other Design Considerations

- Existing services; below and above ground, including access requirements by service providers
- Furniture and other bespoke elements will be designed with the aim to create a unique character for the space whilst be robust to minimise maintenance requirements
- Locations for litter bins and will be integrated into the layout

9 Site Comparison

Oxford Street Reserve, Collingwood



Image nearmaps.com

Oxford Street Reserve, Collingwood

- 600 m2 approx.
- Area includes footpaths on Derby Street and Langridge Street.
- Main park feature is a raised lawn area surrounded by seating elements and planting
- The pocket park has a north south orientation, accomodating pedestrian access between the adjacent street



Oxford Street
Google Street view image January 2020



Oxford Street Reserve
Google Street view image December 2020; approximately 7 years after park construction

Charlotte Street proposed pocket park



Image nearmaps.com

Proposed Charlotte Street pocket park, Richmond

- 550 m2 approx. (Area excludes library entrance and vehicle access area into R.S.L. allowing for vehicle access if the R.S.L. is redeveloped)
- Area extending to kerb alignment on Church Street and up to St Crispin Street

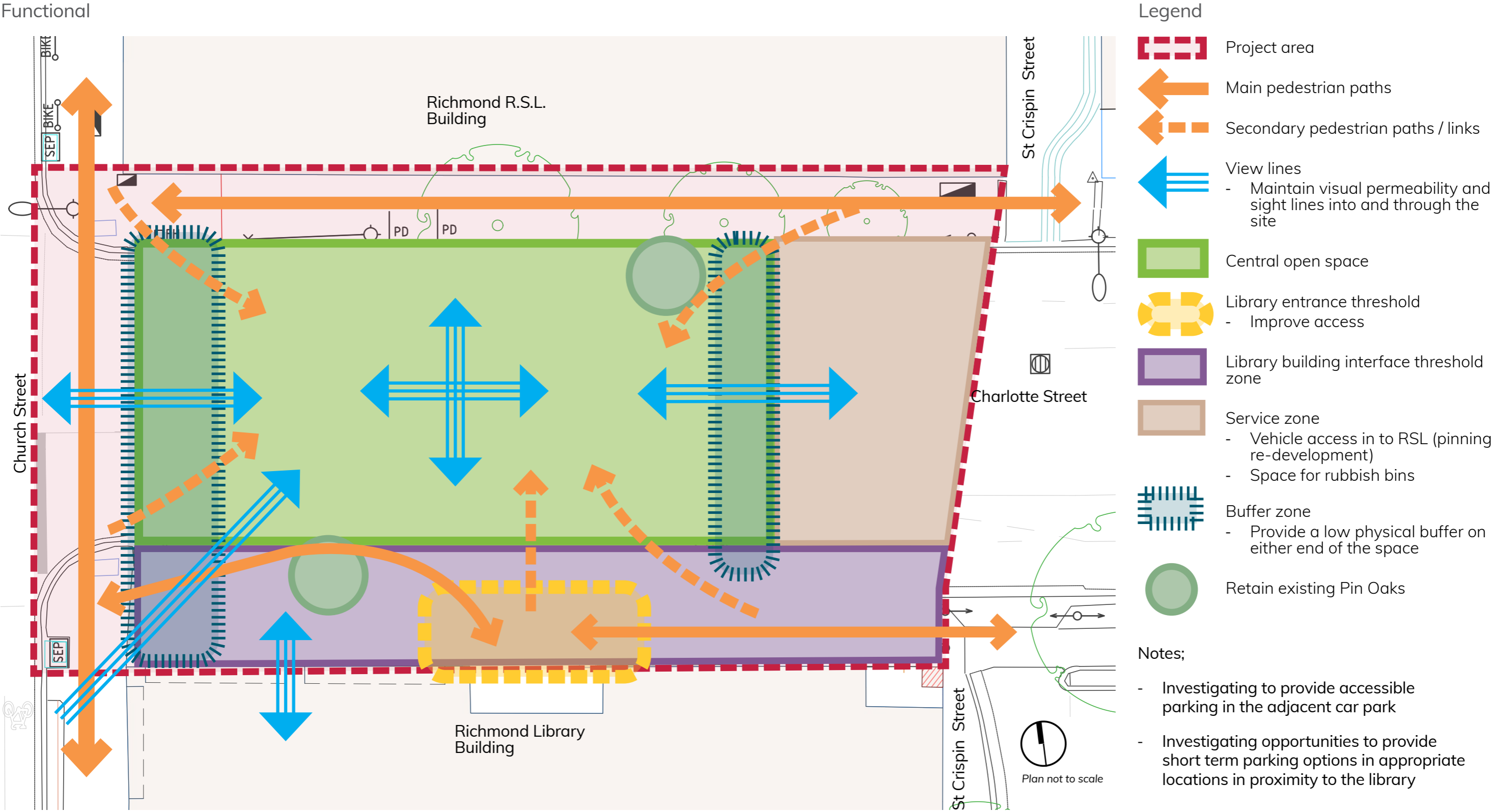


Charlotte Street
Existing site condition, view from library entrance. Image by Fooks Landscape Architecture & Urban Design 2023



Charlotte Street
Existing site condition, view into the space from Church St. Image by Fooks Landscape Architecture & Urban Design 2023

10 Draft Concept Plan Access and Functionality



11 Inspiration and Precedences

Maximise trees and greenery



Furniture elements reflecting and celebrating icon and elements of Swan Street



Image Landezine.com

Create moments for quiet, social and playful times and interactions

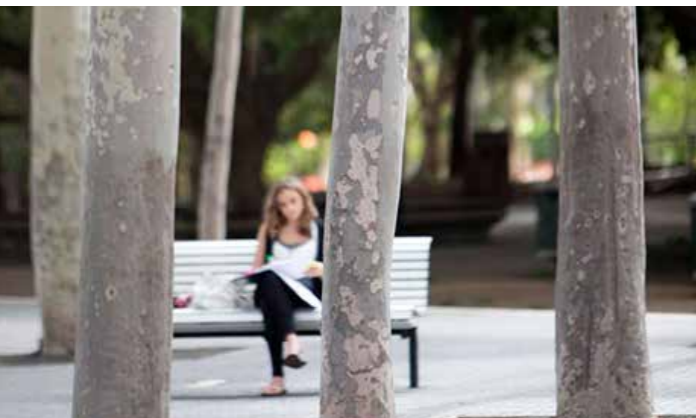


Image Landezine.com Brett Boardman Maquarie Courtyard by Hassell



Staggered edges, softening interfaces between hard and soft

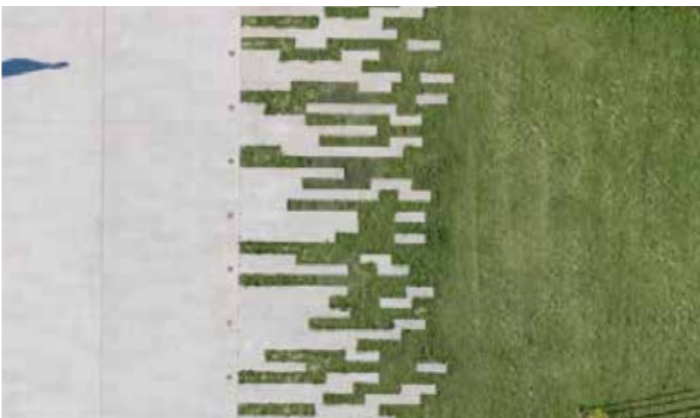


Image Landezine.com



Image Molly-Rose Coulter Oculus Landscape Architecture & Urban Design

Groves of native trees, for all year greenery and dappled shade



Image eranurseries.com.au

Edges with varying surface finish and texture

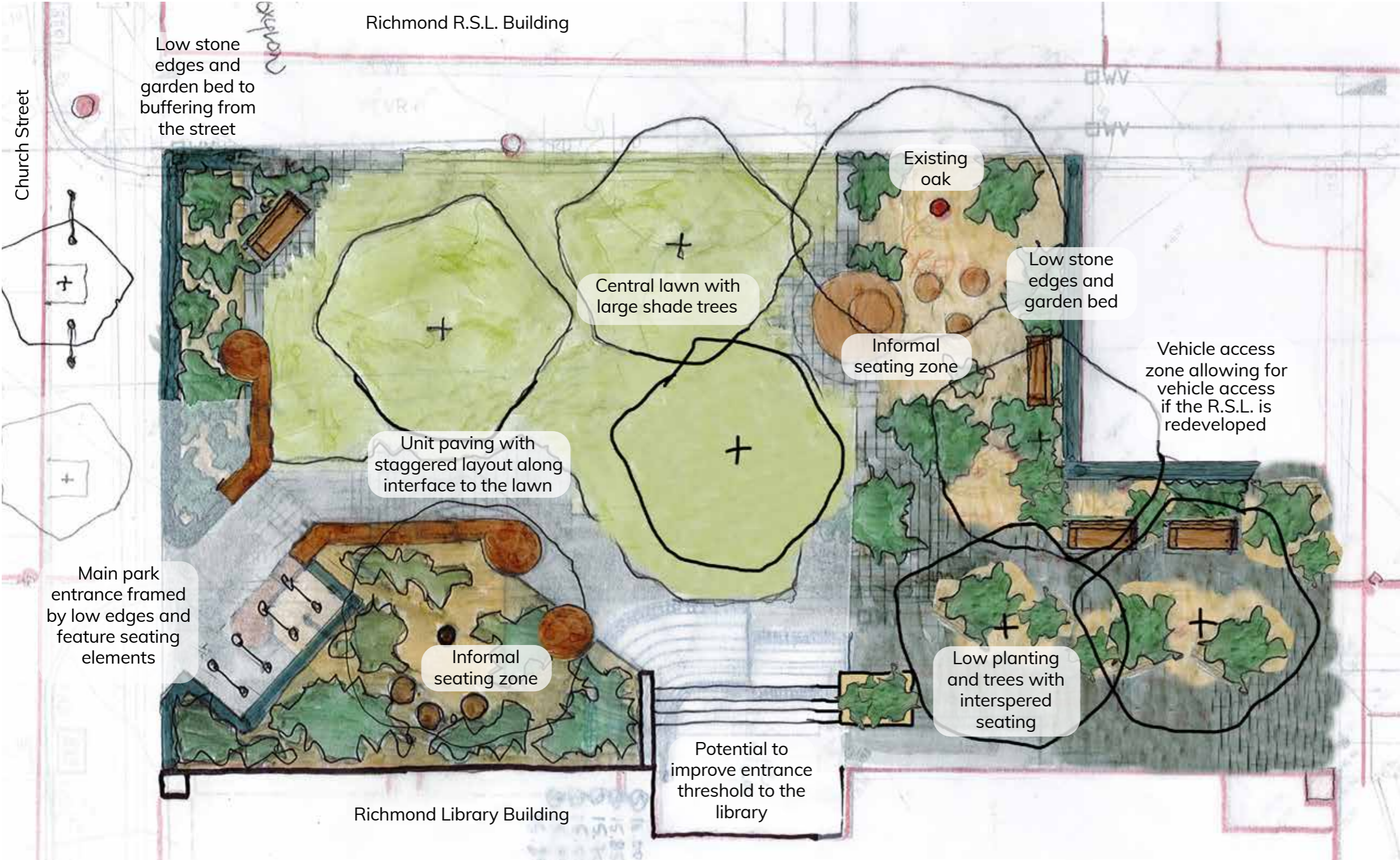


Market Street Melbourne by Oculus Landscape Architecture & Urban Design Landscape Architecture Image Google street view



12 Sketch Plan

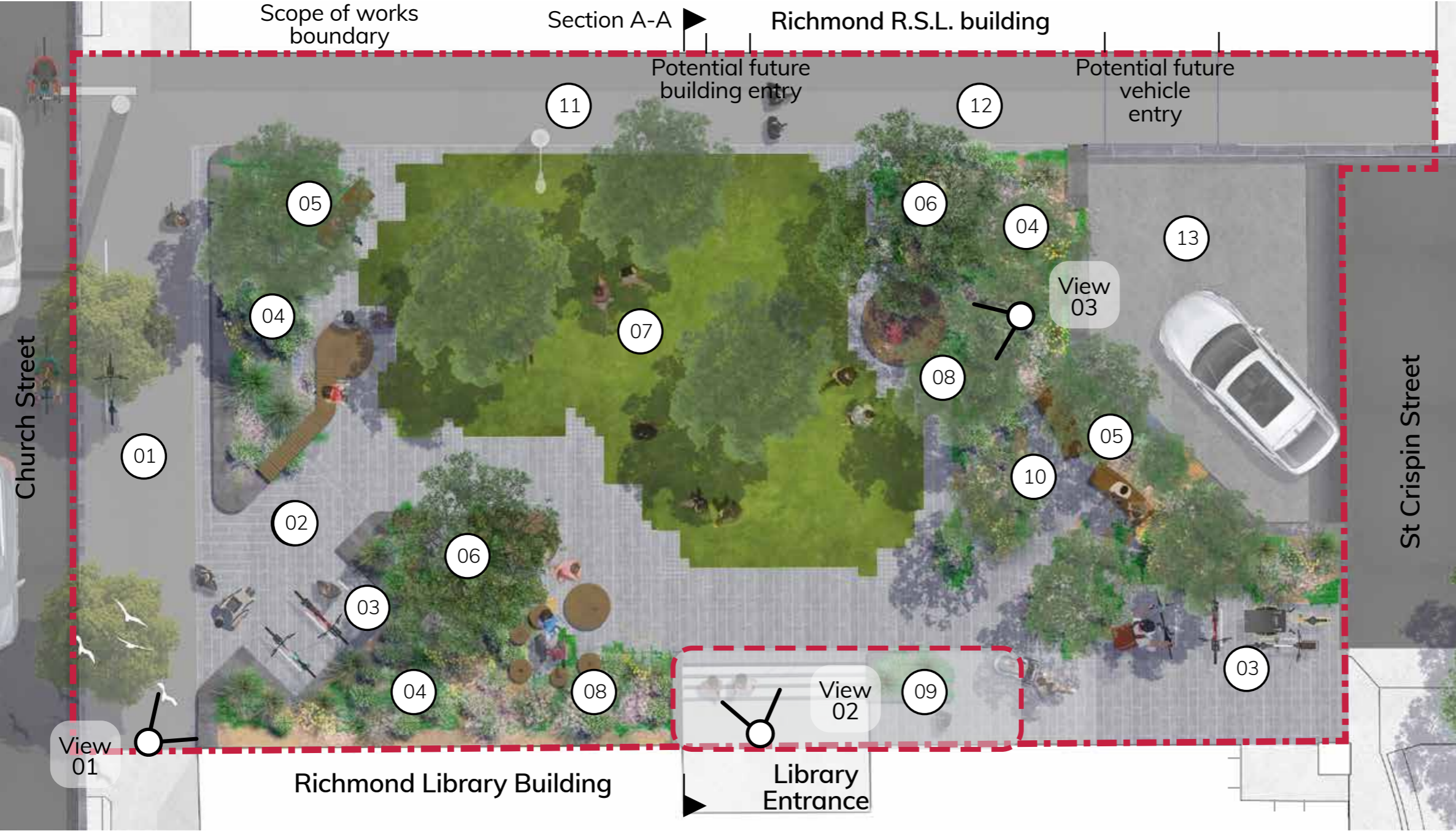
Sketch plan that informed the Draft Concept Design



- Notes;
- Investigating to provide accessible parking in the adjacent car park
 - Investigating opportunities to provide short term parking options in appropriate locations in proximity to the library



13 Draft Concept Plan



Plan not to scale

Graphics by
Fooks Landscape Architecture &
Urban Design, 2023



Section B-B

- 01

Footpath (asphalt) connection across Charlotte Street, typically 2.8m wide from back of kerb. Opportunity for tree and bike facilities
- 02

Entrance threshold and path into park and library, framed by stone edges, garden beds and seating elements
- 03

Bike parking facilities
- 04

Garden beds with low growing flowering plants to maintain sight-lines
- 05

Bench seats with back and arm rests
- 06

Existing Pin Oaks proposed to be retained and integrated into the park design
- 07

Main lawn area, with large native canopy trees. Approximately 15x10m
- 08

Groupings of informal seating elements, multi-functional for small groups / story time, stage, or just lounge under trees
- 09

Investigate opportunity to improve building entrance threshold and accessibility
- 10

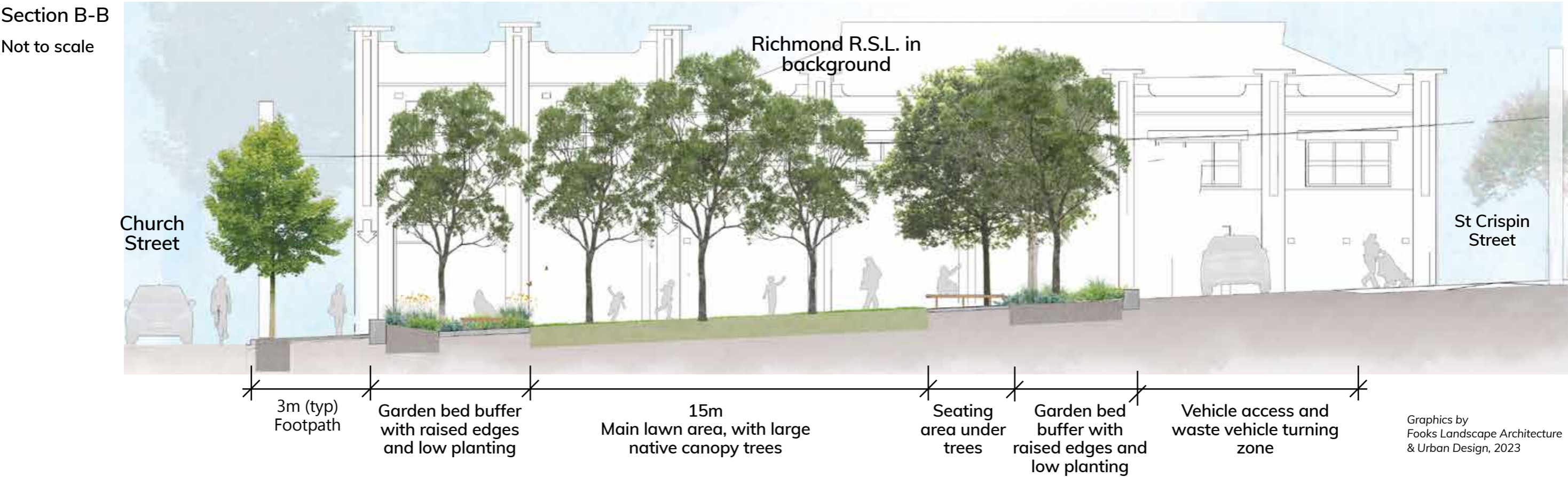
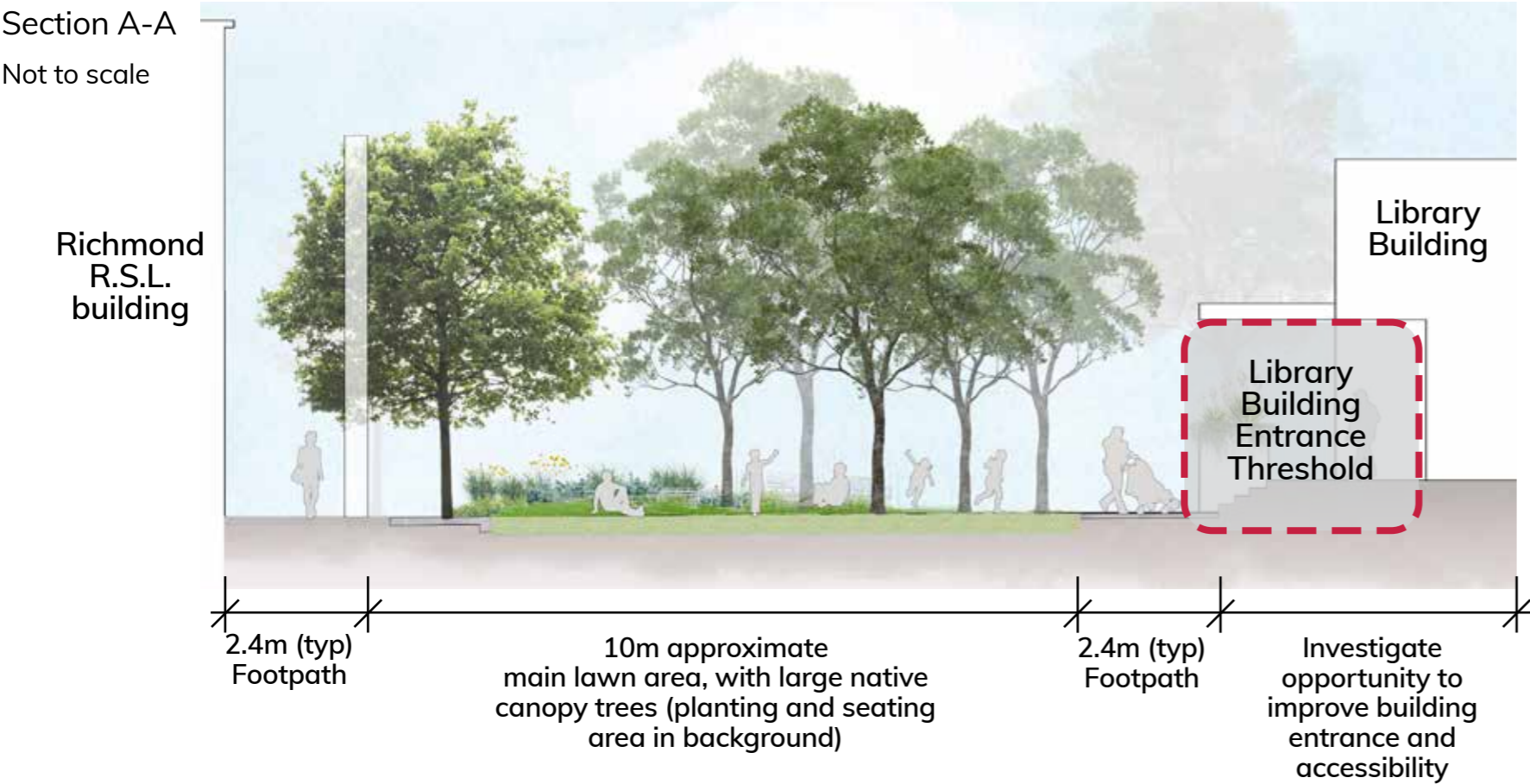
Tree grove with seating below. Trees with clear trunks to ensure minimum obstruction of sight-lines
- 11

Lighting design will be undertaken in the next design stage. Potential to replace the existing pole light with bespoke park lighting
- 12

Asphalt foot path typically 2.4m wide
- 13

Vehicle access and waste vehicle turning zone

Draft concept sections



Graphics by
Fooks Landscape Architecture
& Urban Design, 2023

View 01
Looking into the pocket park from Church Street



Key plan



Existing site view



Graphics by
Fooks Landscape Architecture
& Urban Design, 2023

View 02

Looking out over the pocket park from the library building entrance



Key plan



Existing site view



Graphics by
Fooks Landscape Architecture
& Urban Design, 2023

View 03

Looking out over the pocket park from the northeast corner (towards Church Street)



Key plan



Existing site view



Graphics and site images by
Fooks Landscape Architecture
& Urban Design, 2023