

Brunswick Street & Smith Street Built Form Review:

SMITH STREET BUILT FORM FRAMEWORK

Prepared by **Hansen Partnership**
in conjunction with **GJM Heritage**
for **City of Yarra**
November 2019

PART 2

DRAFT

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












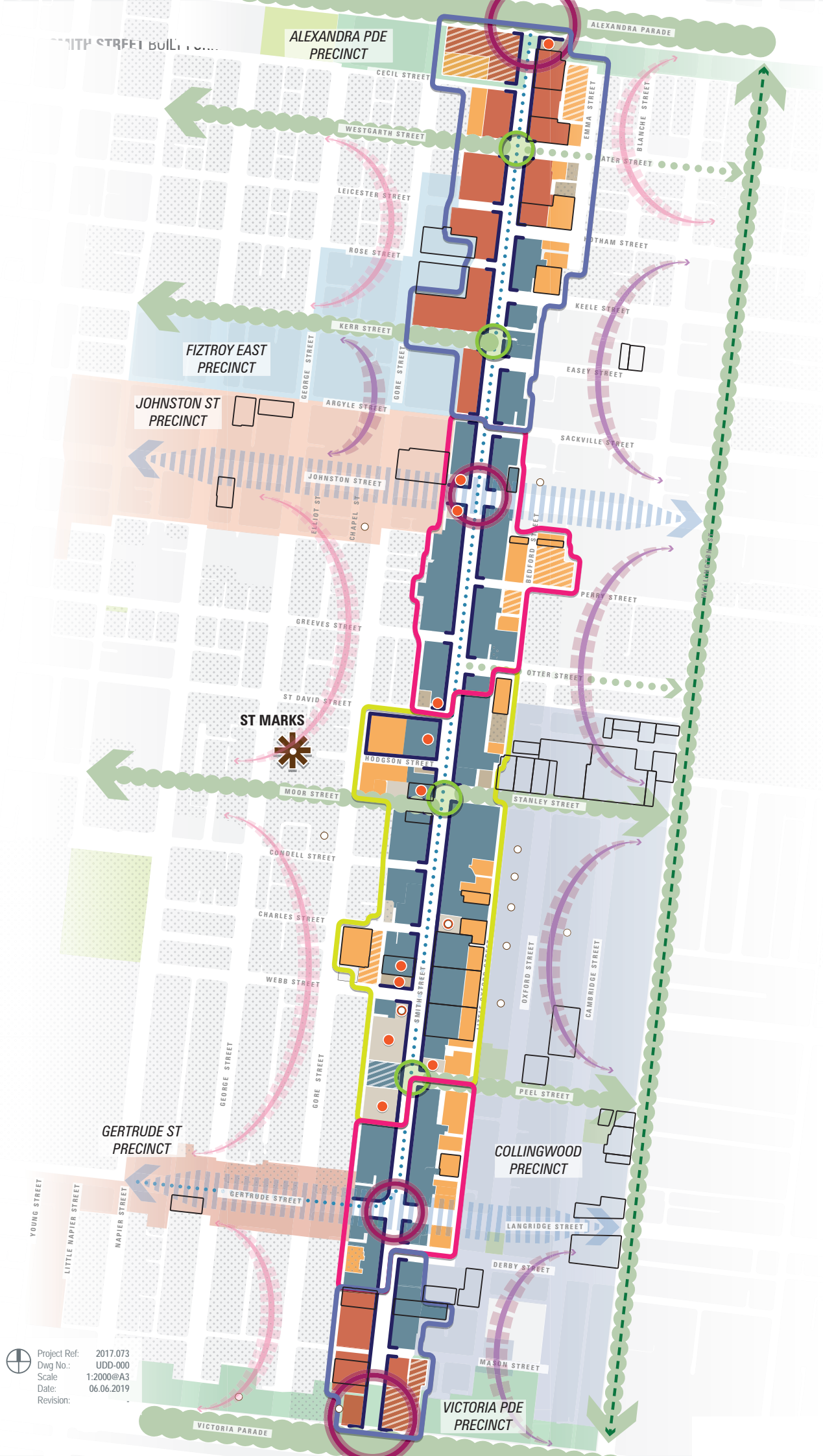
Smith Street, looking south from outside 208 Smith Street.

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** Note: This Draft document is a part only of a broader Built Form Review for the Brunswick Street and Smith Street Activity Centres : Built Form Review. It is a component part of a broader body of work that sets out a future proposition for two of Yarra’s key Activity Centre spines and their adjoining mixed use precincts.*

Legend

- Orderly Streetscape 
- Big stores 
- Capacity 
- Significant infill 
- Back block infill 
- Moderate infill 
- Limited opportunity 
- Large non-contributory Site 
- Established residential 
- Street wall definition 
- Municipal Landmark (Clause 22.03) 
- Local landmark 
- Victorian Heritage Register 
- Recently constructed development 
- Commercial spine 
- Green streets 
- Potential future green streets 
- Tram corridor 
- Key junction 
- Public realm junction 
- Residential interface 
- Mixed use interface 



Given this Framework for change, the following future character statement is recommended.

Future Character Statement

Smith Street will continue to be a notable retail street, reflecting its rich history and largely intact heritage fabric. The northern and southern ends of the street have the greatest capacity for change, given larger lots sizes and less intact heritage values. The streetscape is diverse and varies from a low rise, fine grained character to a stronger profile defined by prominent retail buildings. These diverse 'shifts' in the streetscape character are to be retained and reinforced.

Future development in Smith Street will complement existing heritage values by the established reflecting streetscape rhythm and adopting a respectful scale and profile. Overall, future development along the street will retain the sense of openness and high public realm amenity.

Framework Principles

In response to the varied urban fabric of the precinct, the following future built form character principles apply.

This includes:

- 1 Recognise development opportunity on large, non-heritage sites and at both ends of Smith Street
- 2 Protect prominence of local landmarks
- 3 Reinforce consistent and orderly streetscape presentation around Gertrude and Johnston Street junctions
- 4 Retain prominence of heritage department stores
- 5 Maintain solar access to the opposite footpaths along the commercial spine and green streets
- 6 Acknowledge existing and approved development
- 7 Transition to the residential edges

PART 3: BUILT FORM PROPOSITION

The Built Form Proposition has been derived from the Framework, which was informed by the Foundation and underpinned by the overall background analysis. The **Smith Street Built Form Proposition** sets street by street parameters for the precinct's evolution. The parameters identified are neither fixed or absolute, but intended as benchmarks to guide change. They are represented in Figure 6 and are derived from the following basis.

- Heritage Input;
- Municipal Housing Strategy;
- Precinct Character;
- Solar Access;
- Terminal Views;
- Local Views and Vistas;
- Heritage Streetwall & Upper Levels;
- New Streetwall & Upper Levels;
- Upper Level Setbacks;
- Upper Level Expression;
- Heritage frontage;
- Transitions;
- Residential Interfaces;
- Non-residential Interfaces (including laneway); and
- Building Separation, Amenity & Equitable Development.

The rationale for height parameters is outlined as follows:

3.1 Basis of Height Parameters

Heritage Input

GJM Heritage provided extensive heritage input based on comprehensive analysis comprising:

- The heritage grading of each property within the Heritage Overlay;
- The currency of the existing Statements of Significance;
- Confirmation of places with Victorian Heritage Register nomination;
- Identification of local landmarks; and
- Recommended built form parameters to appropriately manage development within the heritage context.

Refer to GJM Heritage report for details.

Housing Strategy

The Smith Street corridor is predominantly designated for moderate change, with the exception of the northern end, which is identified for high change.

Precinct Character

Key characteristics that distinguish the Smith Street precinct are attributed to intact heritage fabric and perpendicular 'green' streets. Diversity in built form is attributed to a variation in the subdivision pattern, land use function and built form typology (dwellings, traditional shop fronts or warehouses). The built form presentation is varied and comprises a mix of fine grain residential, recent apartment buildings and department store forms. New development should seek to respond to the unique contextual characteristics and respond to particular sensitivities as required.



Smith Street, looking north from Keele Street

Solar Access

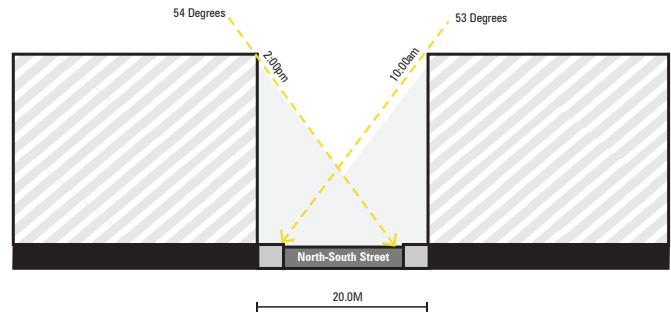
In inner urban areas such as Fitzroy and Collingwood, access to sunlight is an important consideration. Therefore, future urban form should protect sufficient solar access to key public realm and open spaces to ensure 'life and attraction' at the street level for residents and visitors.

The Urban Design Guidelines for Victoria contains the following relevant Objectives and Guidelines:

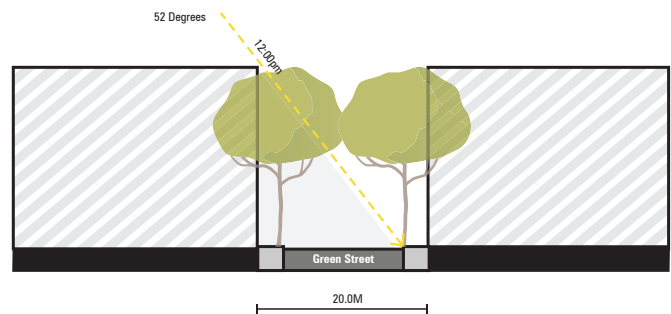
- *'Objective 5.1.3 To ensure buildings in activity centres provide equitable access to daylight and sunlight', and*
- *'5.1.3a Locate and arrange the building to allow daylight and winter sun access to key public spaces and key established street spaces.'*

Along the Smith Street Precinct, we recommend the following solar access measures to avoid, or minimise overshadowing outcomes, measured on 22 September (equinox):

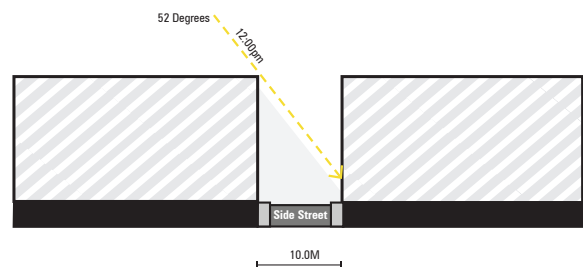
- Along Smith Street (commercial street): avoid overshadowing of western footpath (3m from property boundary) from 10am onwards.
- Along Smith Street (commercial street): avoid overshadowing of eastern footpath (3m from property boundary) before 2pm onwards.
- Along 'green streets' (refer to Figure 4): avoid overshadowing of southern footpath (3m from property boundary) between 10am to 2pm.
- Along side streets (within the study area): avoid overshadowing above the ground floor of buildings. On narrower perpendicular side streets, some overshadowing of footpath (south side) is inevitable. It was determined that protection of solar access to first floor should be supported.
- Along side streets (outside the study area): avoid overshadowing of footpaths to opposite side of the street between 10am to 2pm.



10am and 2pm equinox solar angles along 20m wide Smith Street



12pm equinox solar angle along 20m wide 'Green Streets'



12pm equinox solar angle along 10m wide side streets

Local Views and Vistas

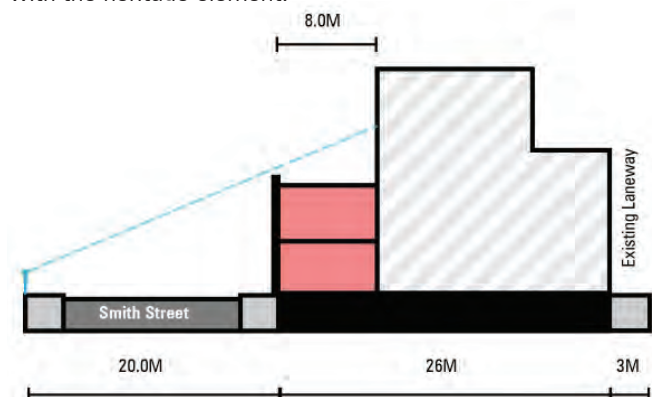
According to the Yarra Landmarks policy, there are no local views or vistas identified within the precinct. However, the presence of corner buildings is a characteristic of Smith Street, therefore retaining views to and 'space' behind these prominent corner forms is important to ensure they retain their prominence and 'hold' the corner. The following corner heritage buildings have been identified within the Smith Street precinct:

- Former State Savings Bank;
- The Birmingham Hotel;
- Shop at 257 Smith Street;
- Former National Bank of Australia;
- Former Union Bank; and
- The Grace Darling Hotel.

Heritage Street wall & Upper Levels

GJM has also provided heritage input for appropriate upper level setback to heritage buildings, which seek to reinforce the objectives found in Clause 22.02 and 22.10. A default 8m measurement (to the new built form and balcony line) is applied to all sites fronting Commercial Streets including Smith Street, Johnston Street and Gertrude Street. This is to ensure adequate protection of the primary heritage 'volume' and local landmark features (including chimneys, and exposed roof forms) often found at the junction of these streets. The default upper level setback will also protect facade articulation in the streetscape elevation with spatial separation between the street wall frontage and recessive upper levels (behind).

Where opportunity for taller development exists behind the heritage volume, an upper level setback greater than 8m will be 'required' (as an absolute parameter) in addition to consideration of a sensitive architectural design treatment (massing, form and materiality) to ensure the new form does not visually compete with the heritage element.



Cross-section of recessive form behind heritage frontage

New Street wall & Upper Levels

In urban areas, almost all urban design guidelines seek to introduce a 'street wall' and 'upper level front setback' measure. The purpose for such a distinction and separation is to ensure predominance of the 'traditional' forms and parapets within the streetscape, while enabling provision of new and increased heights in a recessive order. Upper level setbacks also retain a sense of openness to the street, which are prominent in a pedestrian's field of vision and reinforce the traditional street wall scale. Within the study area, there is extensive heritage fabric which is to be retained and enhanced. The recommended built form parameters for heritage sites draw on the provisions of Clause 22.02 and 22.10 (refer Heritage Street wall).

Along Smith Street, heritage streetwalls vary in height, comprising sections of consistent heritage forms and noticeable shifts in profile between traditional commercial shopfronts and prominent department store forms. To respond to these different streetscape characteristic a new streetwall should match the adjoining heritage forms, whilst a variation of up to 1 storey (lower) is possible in a more 'diverse' streetscape. Importantly, new street wall should not result in diminishing the heritage quality of the streetscape.

For sites with the opportunity to establish a continuous new street wall (that responds to its abutting heritage walls) and recessive upper levels, recommendations are derived from other Planning Scheme Amendments, associated Panel reports as well as recent heritage advice from GJM Heritage.

It is preferred that new built form reinforce the established urban form patterns that are distinctive to Smith Street, comprising streetwalls and recessive upper levels. The visual distinction between street walls and upper levels is an important consideration. For this reason, a 'default' 8m setback along Commercial Streets and a minimum 3m* will be applicable to new form to:

- Provide a clear separation between streetwall and upper forms;
- Ensure new upper form do not visually dominate streetscapes;
- Create consistent upper level setbacks along streetscapes that comprise a mix of heritage and non-heritage forms; and
- Reinforce the visual dominance of streetwalls.

**We note that from heritage perspective, a 6m setback is preferred.*

Upper Level Setbacks

In urban areas, almost all urban design guidelines seek to introduce a 'streetwall' and 'upper level front setback' measures.

The purpose for such a distinction and separation is to ensure predominance of the 'traditional' forms and parapets within the streetscape, while enabling provision of new and increased heights in a recessive fashion. Upper level setbacks also retain a sense of openness to the street, which are prominent in a pedestrian's field of vision and reinforce the traditional streetwall scale.

Along Smith Street there is extensive heritage fabric which is to be retained and enhanced. The recommended built form parameters for heritage sites draw on the provisions of Clauses 22.02 and 22.10 (refer Heritage Streetwall), recommendations from other PSAs and associated Panel reports and recent heritage advice from GJM Heritage.

The recommendations for non-heritage sites seeks to provide a clear distinction between streetwall presentations and upper forms, to reinforce the visual dominance of streetwalls (refer New Streetwall).

Upper Level Expression

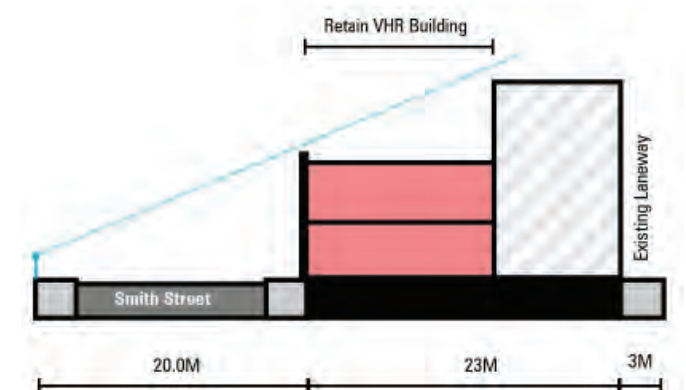
The design of upper levels of new development should:

- Be well articulated and break up the building mass;
- Distinguish between the lower and upper levels through materials and articulation;
- Be designed so that side walls are articulated and read as part of the overall building design and not detract from the streetscape when viewed from direct and oblique views along the streetscape; and
- Provide passive surveillance of adjacent streets and public open space.

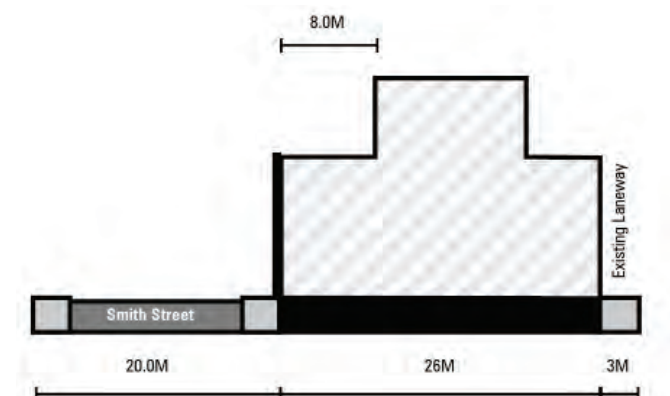
Heritage frontage

Based on an understanding of heritage advice and the distinct built form character to the south of Gertrude Street, the following parameters guide the preferred built form response for heritage frontages in this area:

- Buildings subject to the Victorian Heritage Register should generally remain unchanged (aside from restoration).
- Where new buildings are proposed on VHR sites, they are to be positioned behind existing structures, ensuring heritage frontages are not concealed by new forms from streetscape views.



Cross-section of concealed form behind VHR frontage



Preferred upper level setback above new street wall

Transitions

Transitions in scale are an existing characteristic of the broader Fitzroy and Collingwood area. There are many examples of older commercial or warehouse forms side by side with fine grained dwellings. In this context a change in streetwall height of one storey is common within the streetscapes of the precinct.

In order to maintain this characteristic of gradual variation, particularly within the streetwall, new buildings must contain a streetwall that matches the height of any abutting heritage streetwall/building, or is no greater than one storey higher in order to maintain the prevailing streetscape character and streetwall modulation.

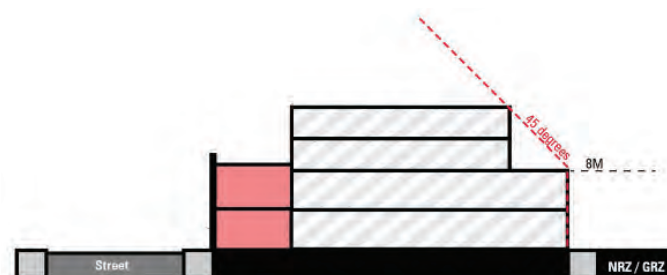
Larger sites may be able to accommodate for gradual transitions through recessive upper levels and transition in scale in response to abutting heritage forms. In order to avoid undesirable 'wedding cake' forms, minimal 'steps' in built form massing is encouraged. Transitions in scale should, as a minimum, occur in paired levels.

On sites which directly abut single storey heritage forms and existing private open spaces a more tempered built form transition is recommended to ensure new form sensitively responds to the existing abuttal.

Residential Interface (including laneway)

Most residential properties are generally located to the east and west and are separated from the study area by a laneway, or street. There are instances where the study area has a direct abuttal to residential properties (ie. between Cecil & Westgarth Streets and between Moor & Charles Streets) with shared side boundaries. These common boundaries are mostly defined by building sideages, or party wall (1-2 storeys). Direct abuttal to private open space exists but is limited.

Along both interfaces, we recommend a 8m (2 storey) form at the interface, with any built form above set back within a 45 degree built form envelope to protect residential amenity.



Cross-section of built form transition to residential zoned land



Smith Street, looking north from Condell Street

Non-residential Interfaces (including laneway)

Built form needs to respond to laneway interfaces. Within the study area the existing laneways, their function, widths and arrangements vary. New development will need to appropriately address both the existing laneway condition as well as adjacent properties. Therefore, we recommend:

To laneway abutments new development should present a maximum 11.2m (3 storey) form at the interface, with any built form above set back 4.5m from the centreline of the laneway of up to 5 storeys.

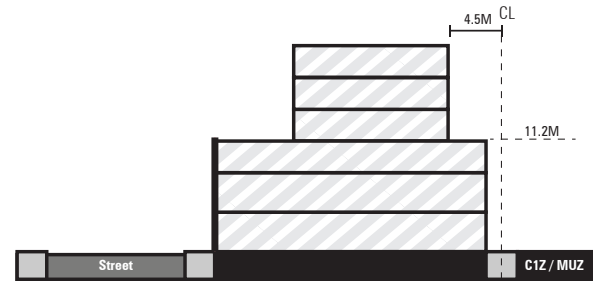
Building Separation, Amenity & Equitable Development

New development should provide a design response that considers the existing condition and future development opportunities of adjacent properties in terms of outlook, daylight and solar access to windows.

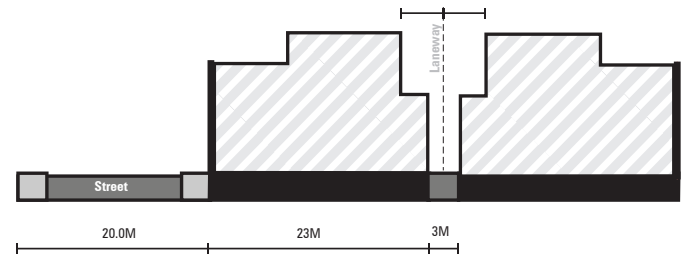
Development should be setback from common boundaries to provide separation between buildings at the upper levels:

- a minimum of 4.5m from the boundary where a habitable room window is proposed;
- a minimum of 3m from the boundary where a non-habitable room window or commercial window is proposed; and
- a minimum for 4.5m from the edge of a proposed balcony or terrace.

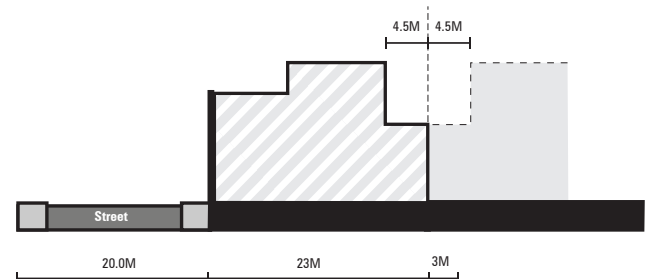
Where the common side boundary is a laneway, the setback is measured from the centre of the laneway.



Preferred built form transition to MUZ or C1Z sites



Preferred 4.5m setback of upper levels from centreline of laneway (minimum 3m wide)



Preferred 4.5m setback of upper levels from rear boundary

Brunswick & Smith Street Built Form Review Smith Street Built Form Control Part 1/2 **Figure 6**

Legend

- Smith Street Precinct Boundary
- Individually Significant Heritage
- Recommended Heritage sites
- Local landmark (GJM, 2019)

Preferred Building Heights

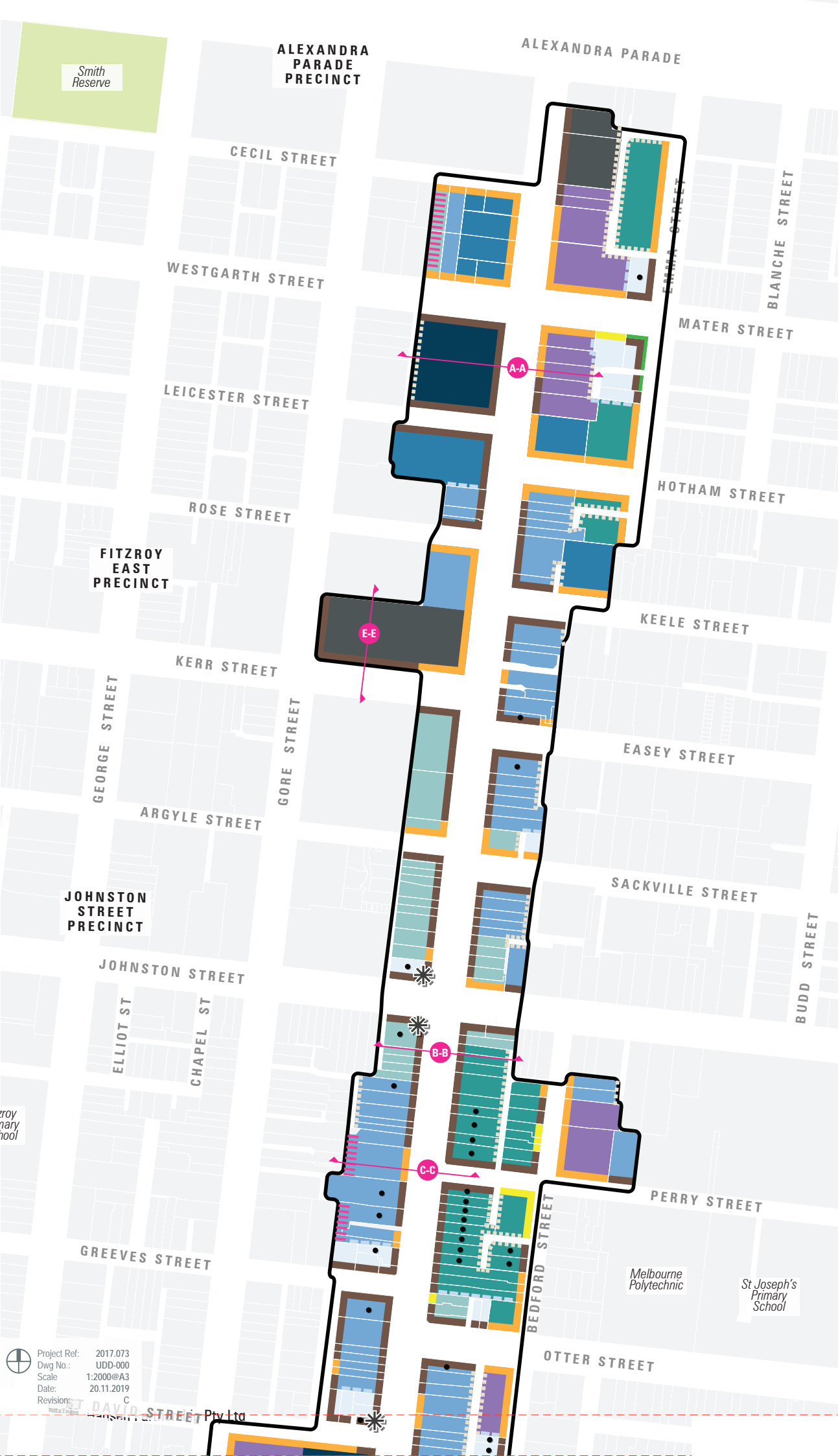
- 3 storeys / 11.2m
- 4 storeys / 14.4m
- 5 storeys / 17.6m
- 6 storeys / 20.8m
- 7 storeys / 24m
- 8 storeys / 27.2m
- 9 storeys / 30.4m
- 10 storeys / 33.6m

Preferred Streetwall

- Retain heritage streetwall
- Retain small landscape setback
- New 2 storey streetwall (8m)
- New 3 storey streetwall (11m)
- New 4 storey streetwall (14m)

Interfaces

- Respond to direct residential abuttal
- Respond to southern interface
- Respond to 3 storey direct interface
- Respond to existing laneway interface



**Brunswick & Smith Street
Built Form Review**
Smith Street
Built Form Control
Part 2/2
Figure 6




Legend

- Smith Street Precinct Boundary 
- Individually Significant Heritage 
- Recommended Heritage sites 
- Local landmark (GJM, 2019) 





Preferred Building Heights

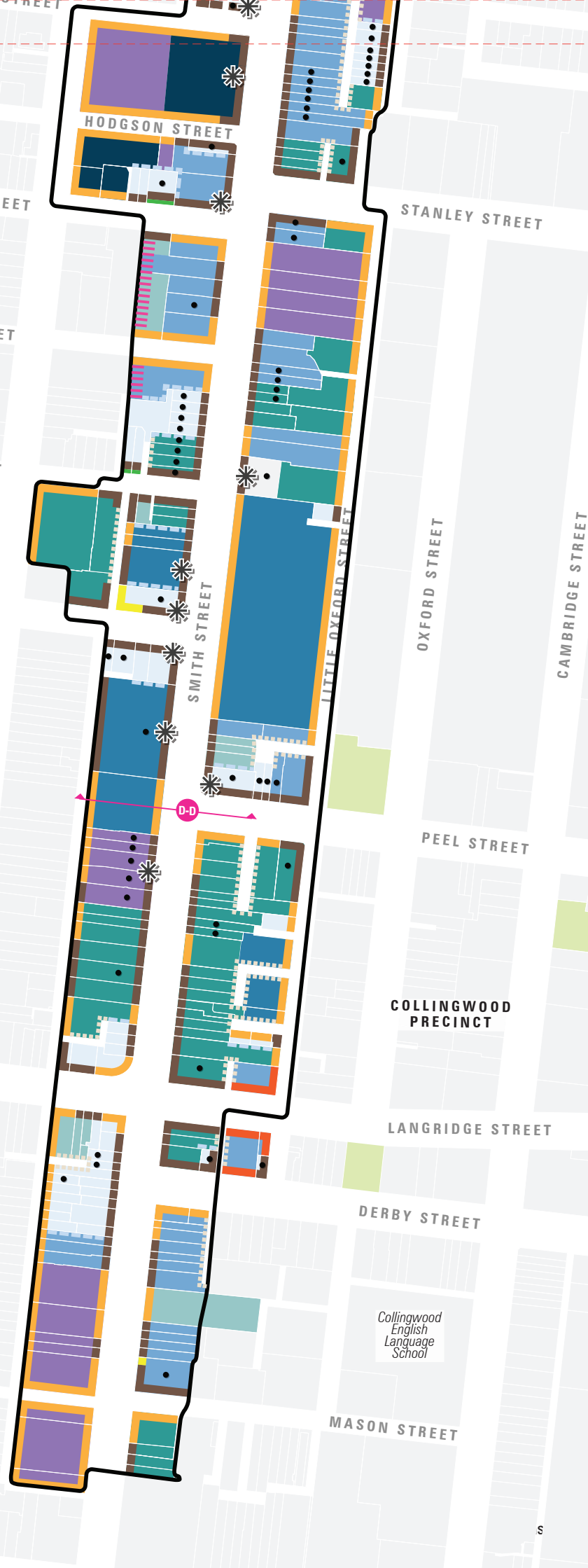
- 3 storeys / 11.2m 
- 4 storeys / 14.4m 
- 5 storeys / 17.6m 
- 6 storeys / 20.8m 
- 7 storeys / 24m 
- 8 storeys / 27.2m 
- 9 storeys / 30.4m 
- 10 storeys / 33.6m 

Preferred Streetwall

- Retain heritage streetwall 
- Retain small landscape setback 
- New 2 storey streetwall (8m) 
- New 3 storey streetwall (11m) 
- New 4 storey streetwall (14m) 

Interfaces

- Respond to direct residential abuttal 
- Respond to southern interface 
- Respond to 3 storey direct interface 
- Respond to existing laneway interface 



PART 4: RECOMMENDED CONTROLS

4.1 Methodology

The formulation of future building heights and streetwall conditions within the Smith Street Precinct has been influenced by many factors, including:

- Planning Policy Framework;
- Local Planning Policy Framework, including Zones and Overlays;
- Practice Note No. 60 – Height and Setback Controls for Activity Centre;
- Practice Note No. 59 – The Role of Mandatory Provisions in Planning Schemes;
- City of Yarra Housing Strategy (Adopted 4 September 2018);
- Review & Development of the City of Yarra Landmarks Policy (March 2018);
- Urban Design Guidelines for Victoria, 2017;
- Anticipated scale and form of development outside the study area (i.e. within Residential and Employment Zones);
- Views to existing landmarks from the public realm;
- Recognition of Yarra’s heritage skyline;
- Recent development approvals (including those currently under-construction);
- 3D computer modelling of built form testing for the study area;
- Independent heritage advice and existing character considerations, consistent with the expert heritage advice provided by Council’s heritage advisors (GJM Heritage);
- The overall Brunswick Street and Smith Street Built Form Review Background Report (November 2019); and
- Extensive site inspections and workshops with Council’s officers.
- Planning Panel Recommendations for:
 - Johnston Street Local Area Plan (C220);
 - Queens Parade Built Form Review (C223).

4.2 Assumptions

Formula for Deriving Numerical Building Heights

The maximum building heights has been calculated to a higher (than minimum) floor to floor heights in order to:

- Respond to the typical heights found within heritage buildings (between 8-11m);
- Accommodate for greater than minimum standards and provide flexibility for future uses;
- Allowance for other design elements to be accommodated, such as parapets, railings, etc.

The following numerical floor to floor dimensions were employed:

- Ground and First Floor: 4m
- Second Floor and above: 3.2m

Note: Higher numerical floor levels for mixed use development may be required at upper levels.

Formula for Deriving Numerical Streetwall Heights

The maximum streetwall heights have been calculated based on the above floor to floor heights, plus additional height to allow for parapets, balustrades and minor architectural features.

Zero front setback

New buildings within Activity Centres and inner urban areas such as Smith Street should generally be built to the street frontage in order to:

- Respond to the prevailing built form character of the area;
- Provide a clear definition at the street edge; and
- Maximise the developable area.

With the exception of retaining small front setbacks to heritage dwellings all new building within the commercial and mixed use zone should have a zero street setback.

Top Floor Depth

A minimum depth of approximately 10m for the upper most level has been considered in determining overall building heights. This minimum dimension is based on a typical apartment depth, and provision of efficient access.

4.3 Precincts

Based on the linear extent of Smith Street and the distinction in future built form characteristic along the corridor and back block areas (as determined by the Built Form Framework Plan), the study area is divided into several precincts as follows:

- Smith Street
- Smith Street - Big Store; and
- Back Blocks.

The following table provides a concise breakdown of these precinct and key built form parameters.

Proposed Building Heights

PRECINCT	STREET WALLS / GROUND LEVEL SETBACKS	PREFERRED MAXIMUM BUILDING HEIGHTS
SMITH ST	<ul style="list-style-type: none"> ▪ Match adjoining heritage eaves/parapet, or lower. ▪ Where there is no adjoining heritage street wall, maximum 11.2m. 	11.2m to 32.8m (3 to 10 storeys)
SMITH ST - BIG STORE	<ul style="list-style-type: none"> ▪ Match adjoining heritage eaves/parapet to a maximum of 11.2m. ▪ Preserve existing buildings on VHR sites. 	11.2m to 29.6m (3 to 9 storeys)
BACK-BLOCKS	<ul style="list-style-type: none"> ▪ Retain existing front setback; ▪ Match adjoining heritage eaves/parapet, or lower; or ▪ 3 storey (11.2m) to 4 storey (14.4m). 	11.2m to 32.8m (3 to 9 storeys)

The following diagram illustrates a breakdown of these precinct boundaries.



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Brunswick & Smith Street Built Form Review

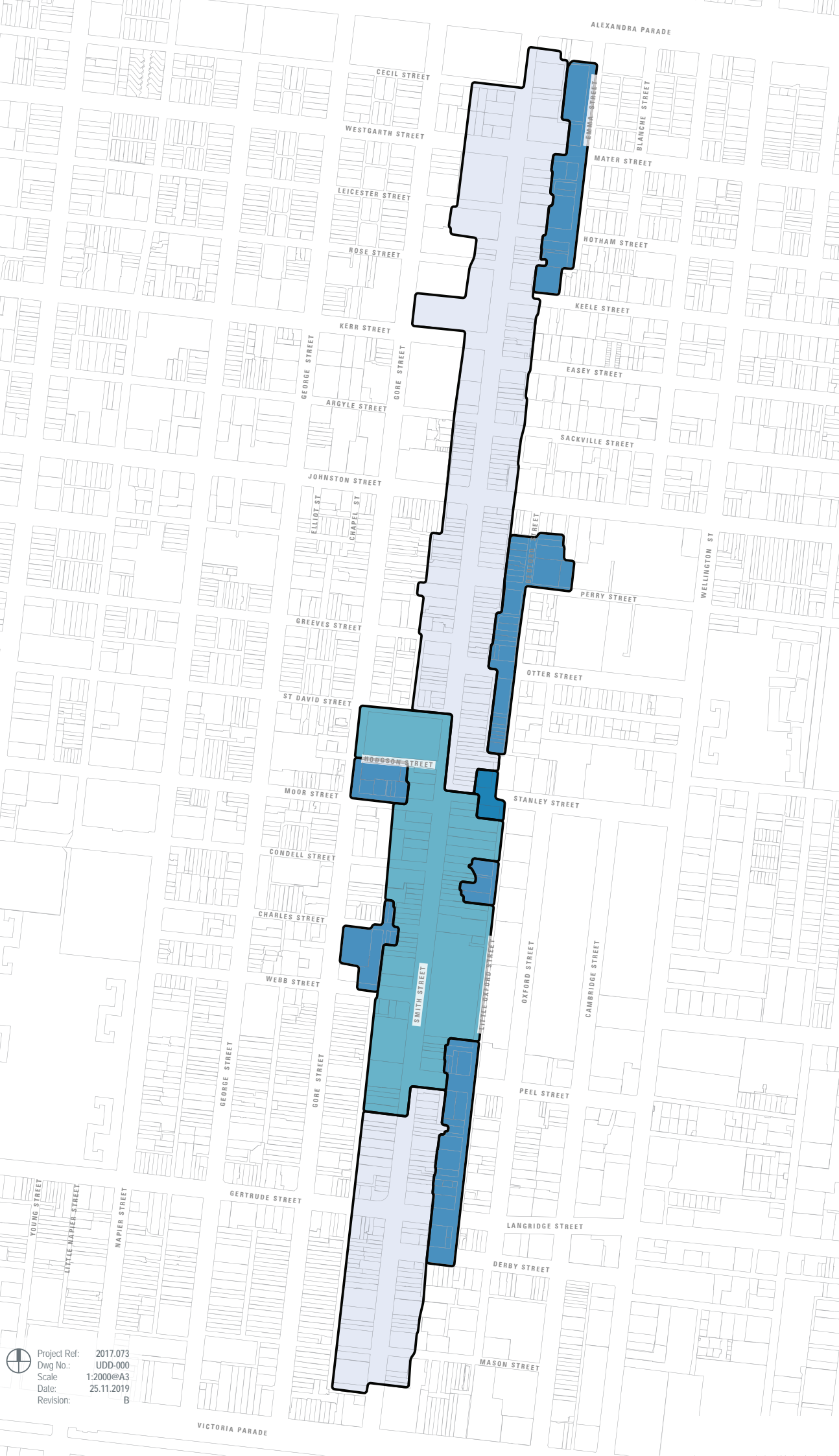
Smith Street
Precincts
Figure 7

Legend

Smith Street

Smith Street - Big Stores

Back Blocks



PRECINCT 1: SMITH STREET

This precinct comprises lots with a primary frontage to Smith Street, between Alexandra Avenue to St David Street-Stanley Street (in the north) and 119 Smith Street-Peel Street to Victoria Parade (in the south), excluding the corner Alexandra Avenue corner sites.

Preferred precinct character statement

Properties fronting Smith Street will continue to be defined by fine grained low scaled heritage buildings. New moderate infill will be recessive in profile, befitting a 'street wall and setback' model and transition down along its residential abuttal. Where Smith Street intersects with east- west streets, these junctions will continue to be defined by proud heritage forms with recessive upper levels that turn the corner, addressing both street frontages.

To the northern and southern ends of Smith Street, acknowledge development opportunities will manifest with rising forms set back behind the prevailing street wall profile.

To either side of the main street junctions, reinforce the consistent and orderly street wall character.

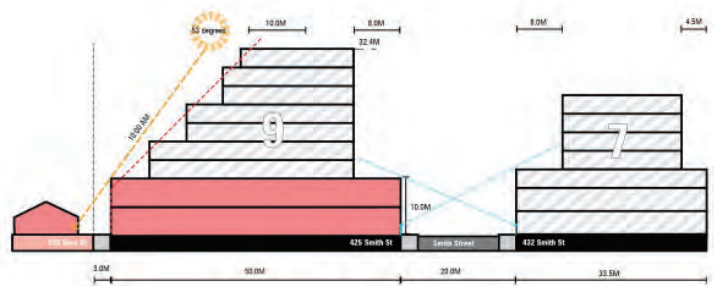
Built Form Objectives

- To ensure the heritage frontage remains the visually dominant element of all development in Smith Street and that new development is visually recessive and does not dominate the streetscape.
- To acknowledge development potential on larger sites unaffected by the Heritage Overlay.
- To realise a moderate mixed-use redevelopment that respects the heritage and streetscape value of the precinct.
- To support development that contributes to an active, high quality and pedestrian friendly environment.
- To enhance a consistent and orderly streetscape presentation to the either side of the Johnston Street and Gertrude-Langridge Street junctions.
- To maintain a diverse streetscape presentation to the northern and southern ends of Smith Street.
- To ensure views to the local landmarks are maintained and highlighted.
- To minimise overshadowing of existing open space and footpaths along commercial and 'green' streets.
- To ensure suitable transition along its residential interface.

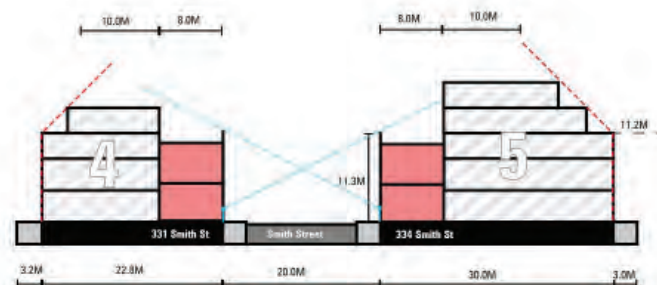


Guidelines

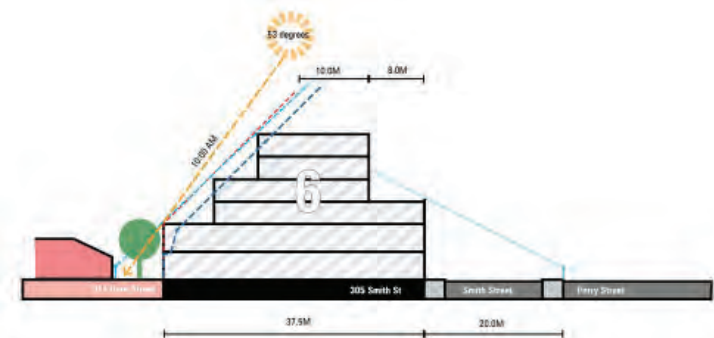
1. Establish a clear distinction between street wall and rising form behind.
2. Avoid new single storey street walls.
3. Ensure new infill street walls matches the parapet height of adjoining heritage forms.
4. Ensure new development complements heritage architectural features (grain and rhythm).
5. Ensure upper levels behind heritage street wall adopt a 'calm' architectural language and material palette.
6. Ensure new development on corner sites is designed in the round and 'turns the corner' to address all street frontages.
7. Ensure new development avoids the presentation of overly stepped or 'wedding-cake' presentation.
8. Ensure new development maintains solar access to:
 - Smith Street, Johnston Street and Gertrude Street footpaths (opposite side) between 10am and 2pm at the equinox (21 September).
 - Footpaths (opposite side) of Westgarth Street, Mater Street Kerr Street, Otter Street, Stanley Street and Derby Street between 10am and 2pm at the equinox (21 September).
 - For other streets, to first floor between 10am and 2pm at the equinox (21 September).
9. Facilitate equitable development outcomes to adjacent sites through adequate building separation to side and rear boundaries.
10. Ensure exposed party walls to side boundaries are designed to be visually interesting.
11. Encourage laneway extension, or widening to accommodate servicing and parking access, where existing laneway conditions are too narrow.
12. Ensure new development provides opportunities for improved passive surveillance to streets at ground and upper levels.
13. Encourage continuation of awnings over footpaths.



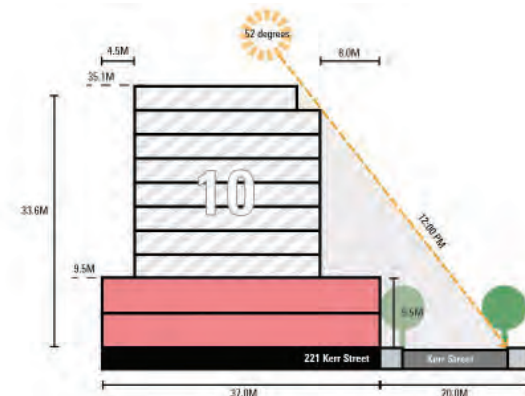
Smith Street Indicative cross-section A-A



Smith Street Indicative cross-section B-B



Smith Street Indicative cross-section C-C



Kerr Street Indicative cross-section E-E

PRECINCT 2: BIG STORES

This precinct is defined by the presence of the grand retail forms which reflect Smith Street's history as Melbourne's premier retail destination and presence of major Department Stores. This precinct comprises lots with a primary frontage to Smith Street, between St David Street-Stanley Street (in the north) and 119 Smith Street-Peel Street (in the south).

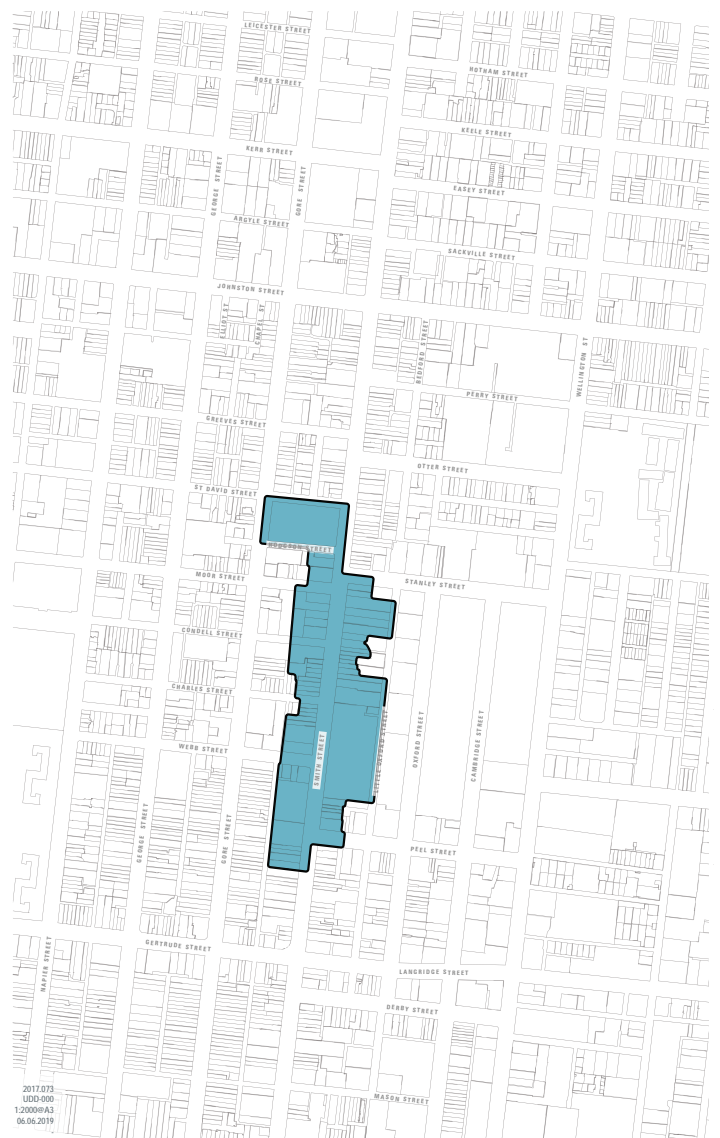
Preferred precinct character statement

The Smith Street spine will continue to be defined by the grand punctuating forms of the heritage Department Store buildings. The prominence of these façades and varied heritage street walls will be maintained with low to mid-rise infill development that is subservient in the streetscape, ensuring view lines to local landmarks and the profile of Department Stores is preserved.

Where Smith Street intersects with side streets, these junctions will continue to be bookended by proud heritage forms with complementary and recessive upper levels that turn the corner to address both street frontages.

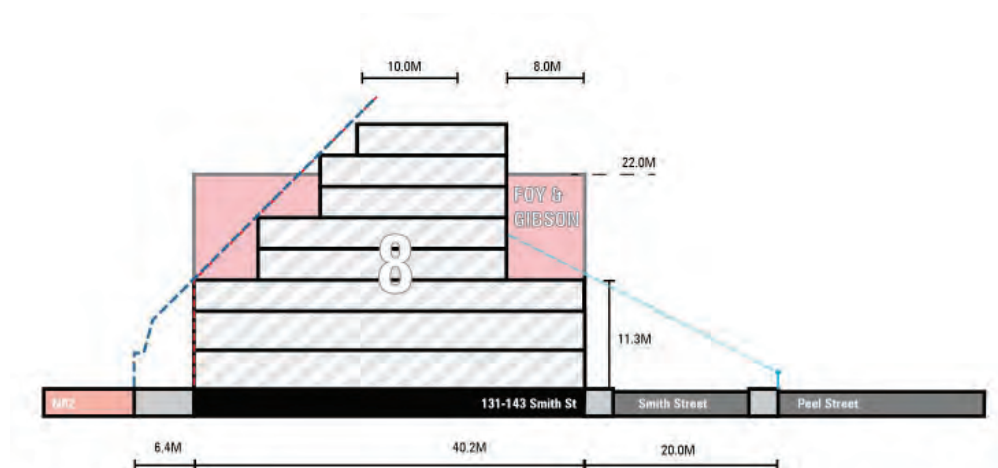
Built Form Objectives

- To protect existing built form fabric with VHR designation.
- To maintain a diverse streetscape presentation and visual prominence of the heritage Department Stores.
- To ensure the heritage frontage remains the visually dominant element of all development in Smith Street and that new development is visually recessive and does not dominate the streetscape.
- To realise a moderate mixed-use redevelopment that respects the heritage and streetscape value of the precinct.
- To support development that contributes to an active, high quality and pedestrian friendly environment.
- To ensure views to the local landmarks are maintained and highlighted.
- To minimise overshadowing impact on existing open space and footpaths along commercial and 'green' streets.
- To ensure suitable transition along its residential interface.



Guidelines

1. Encourage retention and repurposing of exiting built forms on VHR sites.
2. Ensure that new street walls are subservient to the prominent heritage department stores.
3. Encourage new upper level development to be set back behind new or heritage street walls to preserve the prominent sheer profiles of the heritage department stores.
4. Ensure new infill street walls match the parapet height of adjoining heritage forms – except heritage department stores.
5. Ensure new development avoids the presentation of overly stepped or ‘wedding-cake’ presentation.
6. Ensure new development maintains solar access to:
 - Smith Street footpath (opposite side) between 10am and 2pm at the equinox (21 September).
 - Footpaths (opposite side) of Peel Street between 10am and 2pm at the equinox (21 September).
 - For other streets, to first floor between 10am and 2pm at the equinox (21 September).
7. Facilitate equitable development outcomes to adjacent sites through adequate building separation to side and rear boundaries.
8. Ensure exposed party walls to side boundaries are designed to be visually interesting.
9. Encourage laneway extension, or widening to accommodate servicing and parking access, where existing laneway conditions are too narrow.
10. Ensure new development provides opportunities for improved passive surveillance to streets at ground and upper levels.
11. Encourage continuation of awnings over footpaths.



Smith Street Indicative cross-section D-D

PRECINCT 3: BACK BLOCKS

This precinct comprises a disparate grouping of linear parcels located behind the Smith Street spine, within the Commercial 1 Zone and Mixed Use Zone. The key parcels of land are:

- East of Smith Street with frontages to Emma, Mater, Hotham, Keele and Sackville Streets;
- East of Smith Street with frontages to Bedford, Perry, Otter, Stanley, Little Oxford, and Peel Streets; and
- West of Smith Street with frontages to St David, Hodgson, Gore, Moor, Charles and Webb Streets.

Preferred precinct character statement

Future development will continue the pattern of recent mid-rise development, behind the Smith Street spine, retaining visual prominence of the heritage fabric. These backstreet streetscapes will be diverse and varying from low rise, fine grain residential to a stronger profile defined by contemporary buildings and transition down along the various residential edges.

Built Form Objectives

- To retain the heritage frontages, including street setbacks and street walls.
- To realise a moderate mixed-use redevelopment that respects the heritage and the individual streetscape character.
- To support development that contributes to an active, high quality and pedestrian friendly environment.
- To encourage development that is made up in parts on prime sites to reinforce the permeability and fine-grained profile of urban blocks in the precinct.
- To ensure suitable transition along its residential interface.



Guidelines

1. Ensure new development reinforces a dominant street wall presentation (where there is no heritage street wall, or street walls).
2. Ensure that new development on corner sites address multiple street frontages by 'turning' the corner.
3. Ensure new development maintain solar access to:
 - Footpath on opposite side of Emma Street between 10am to 2pm at the equinox (21 September);
 - Footpaths (opposite side) of, Mater, Otter, Stanley, Peel and Derby Street between 10am and 2pm at the equinox (21 September).
 - For other streets, to first floor between 10am and 2pm at the equinox (21 September).
4. Retain existing front setbacks including front gardens.
5. Retain existing canopy vegetation on site.
6. Ensure new development reinforces domestic character of residential streets through facade articulation and material treatment.
7. Ensure new development provides opportunities for improved passive surveillance to streets at ground and upper levels.
8. Facilitate equitable development outcomes to adjacent sites through adequate building separation to side and rear boundaries (above prescribed street wall height).
9. Ensure new development avoids the presentation of overly stepped or 'wedding-cake' presentation.

4.4 General Built Form Guidelines

Built Form Recommendations

A range of specific built form recommendations and design guidelines have been developed for all precincts.

These built form guidelines focus on the Smith Street Precinct, where future development is anticipated and design guidance is required.

Public Open Space provision

Public open space is an important element within urban areas, as is its spatial provision. In inner urban areas such as Smith Street the provision of small public parks is important to the social health and well-being of a local community. There are presently no 'pocket parks' within the study area. Therefore, there is a clear lack of open space provision within this precinct.

Visually distinct additions and upper levels

Given the prevailing heritage character of Smith Street, new buildings or additions should be designed to have a visually distinctive architectural expression from the heritage element. This is in order to ensure that new form can be clearly 'read' and understood as a more recent component. It also encourages contemporary architectural responses which will contribute to the 'richness' and diversity of built form.

Lightweight materials, colours and finishes that contrast with the prevailing masonry forms are also encouraged to assist in the clear distinction between new and old, while also assist in visually recessing new forms.

Architectural Considerations

To street frontages expansive blank walls should be avoided and where visible from within the public realm, any blank walls need to be visually divided into small elements through architectural treatments or artistic decoration to reduce visual mass.

Fenestration patterns and facade solid to void proportions need to reflect the prevailing streetscape rhythm and presentation.

New forms should 'fit' within the prevailing streetscape character. Avoid overly busy and complex architectural expressions.

Active and Semi Frontages

In Activity Centres and Mixed Use areas, buildings must provide sufficient activation at street level to foster 'life' on the street and provide opportunities to maximise safety via passive surveillance.

Along the key movement corridors active ground frontages are encouraged. However, this precinct does not comprise any such key corridors.

Along the local streets and within the mixed use area semi-active frontages are more appropriate. As these less active frontages still maintain an appropriate level of passive surveillance to occur, while also providing more privacy and seclusion to the inside of the building, befitting the nature of the use being either primarily office or dwelling.

Direct pedestrian entry into ground floor uses is encourage, particular on larger sites, with broad frontages.

Upper levels also provide 'eyes on the street' and contribute to passive surveillance of the public realm. Windows and balconies that orientate towards the street are encouraged.

